

Drain: CENTENNIAL DRAIN **Drain #:** 315
Improvement/Arm: CENTENNIAL - SECTION 2
Operator: SLM/JDH **Date:** 11/10-03
Drain Classification: Urban/Rural **Year Installed:** 2001

GIS Drain Input Checklist

- Pull Source Documents for Scanning gaa 11-10
- Digitize & Attribute Tile Drains N/A
- Digitize & Attribute Storm Drains SLM/gaa 11-10
- Digitize & Attribute SSD SLM/gaa 11-10
- Digitize & Attribute Open Ditch SLM/gaa 11-10
- Stamp Plans gaa 11-10
- Sum drain lengths & Validate gaa 11-10
- Enter Improvements into Posse gaa 11-10
- Enter Drain Age into Posse gaa 11-7
- Sum drain length for Watershed in Posse gaa 11-7
- Check Database entries for errors gaa 11-10

Gasb 34 Footages for Historical Cost Drain Length Log

Drain-Improvement: CENTENNIAL DRAIN - CENTENNIAL - SECTION 2

Drain Type:	Size:	Length (SURVEYORS REPORT)	Length (DB Query)	Length Reconcile	N/A Applicable	
					Price:	Cost:
SSD	6"	2,144'	2,144'	∅		
RCP	12"	4,017.82'	3,997.82'	-20'		
	15"	1,469'	1,469'	∅		
	18"	988.5'	938.3'	∅		
	24"	498.5'	498.5'	∅		
	36"	191.7'	191.7'	∅		
	48"	702.4'	702.4'	∅		
OPEN DITCH		960'	960'	∅		

Sum: 10,921.72' 10,901.72' -20' \$286,408.00

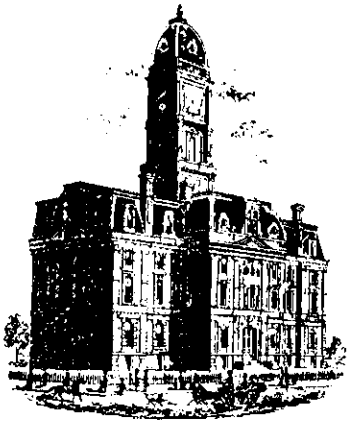
Final Report: _____

Comments:

SURVEYORS REPORT HAS INCORRECT CALCULATED LENGTH FOR 12" PIPE.
TOTAL BOND AMT = 371,000.00 - SSD BOND (60,000.00) = 311,000.00
TOTAL DRAIN CONSTRUCTED (INCLUDING OSBORN & COLLINS #2 PORTAL = 14,170.72' - SSD (2,144') =
12,026.72'. TOTAL STORM : OPEN DITCH CONSTRUCTED FOR CENTENNIAL SEC. 2 = 8757.72'

SSD BOND
↑

8757.72'
12026.72' = 72.8 % x 311,000.00 = 226,408.00 + 60,000.00 = \$ 286,408.00



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

June 20, 2000

Re: Centennial Drain, Section 2 Arm (2-A and 2-B)

Attached is a petition, non-enforcement requests, plans, calculations, quantity summary and assessment rolls for the Section 2 Arm, Centennial Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages, and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6" SSD 2,144 Ft	18" RCP 899 Ft	48" RCP 715 Ft
12" RCP 4,423 Ft	24" RCP 525 Ft	Open Ditch 1770 Ft
15" RCP 1,128 Ft	36" RCP 192 Ft	

The total length of the drain will be 11,796 feet.

The retention ponds (lakes) #4, 2 and 1 located in Commons Areas #1, 13 and 14 are not to be considered regulated drain. Only the inlet and outlet will be maintained as part of the regulated drain. The maintenance of the ponds (lakes) will be the responsibility of the Homeowners Association. The Board will however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachment.

The subsurface drains (SSD) located under the curbs in Section 2 will not become part of the regulated drain system for Centennial. Laterals for individual lots will not be considered part of the regulated drain. The portion of the SSD, which will be regulated other than those under curbs are as follows:

Rear of Lots 233-235, 213-214, 211-212, 215-216, 224-226, 222-223, 205-218, 206-209, 255-257, 248-250, 201-202, 265-267, 276-277, 287-289 and 284-286.

Included in the above totals is the portion of the 18" storm pipe installed with the Centennial Church across Common Area #5 between structures 299 and 300.

The open drain is the remaining portion of the Osborn-Collins or Williams Creek from 156th Street to the Northwest corner of Lake #1 across Common Area #14 to the property line between Merrimac and Centennial. Also between structures 318-318, 353-353A, 310-310B, 314-310B, 359-359A, 280C-280B, 341-341B, 364-323B, 323-323B and 368-368B. The remaining portions of the Osborn-Collins drain or Williams Creek running through this section should be included under the maintenance of Centennial until such time the open ditch is set up for maintenance separately.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$50.00 per lot, \$5.00 per acre for roadways and tracts, with a \$50.00 minimum. With this assessment the total annual assessment for this drain/this section will be \$3,102.66 for Section 2-A and \$3,092.20 for Section 2-B.

Parcels assessed for this drain may be assessed for the Osborn-Collins or Williams Creek Drain at sometime in the future.

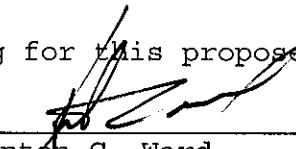
I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

The portions of drain which will run across lots 22, 23, 31 and 34 in section 1 of Forest Bay Estates and Lot 121 of Forest Bay Estates, Section 3 are within the platted easements for Forest Bay Estates. No additional easements will be required.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. This request is for the reduction of the regulated drain easement to those widths as shown on the secondary plat for Centennial Section 2-A and Section 2-B as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for July 24, 2000.

KCW/kkw


Kenton C. Ward
Hamilton County Surveyor

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor, Courthouse, Noblesville, IN 46060

In the matter of CENTENNIAL Subdivision,
Section 2 Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in CENTENNIAL, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 100% of the Engineers estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.

3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain File.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain.

ESTRIDGE DEVELOPMENT CO., INC.

Jim Walsh
Signed _____

TIM WALSH
Printed Name _____

Signed _____

Printed Name _____

RECORDED OWNER(S) OF LAND INVOLVED

DATE 2/2/00

HAMILTON COUNTY DRAINAGE BOARD
NOBLESVILLE, INDIANA

IN RE: _____)
Hamilton County, Indiana)

PETITION FOR RELOCATION AND RECONSTRUCTION

ESTRIDGE DEVELOPMENT CO., INC. (hereinafter "Petitioner"),

hereby petitions the Hamilton County Drainage Board for authority to relocate and improve a section of the CHARLES OSBOURNE Drain, and in support of said petition advises the Board that:

1. Petitioner owns real estate through which a portion of the CHARLES OSBOURNE Drain runs.
2. Petitioner plans to develop its real estate with roads, buildings, utilities, storm drains, sanitary sewers and other structures.
3. Petitioner's proposed development of its real estate will require relocation and reconstruction of a portion of the CHARLES OSBOURNE Drain, as specifically shown on engineering plans and specifications filed with the Hamilton County Surveyor.
4. The work necessary for the proposed relocation and reconstruction will be undertaken at the sole expense of the Petitioner and such work will result in substantial improvement to the CHARLES OSBOURNE Drain, without cost to other property owners on the watershed of the CHARLES OSBOURNE Drain.
5. Proposed relocation and reconstruction will not adversely affect other land owners within the drainage shed.
6. Petitioner requests approval of the proposed relocation and reconstruction under IC 36-9-27-52.5.

WHEREFORE, Petitioner requests that an Order issued from the Hamilton County Drainage Board authorizing relocation and reconstruction of the CHARLES OSBOURNE Drain, in conformance with applicable law and plans and specifications on file with the Hamilton County Surveyor.

ESTRIDGE DEVELOPMENT CO., INC.
Signed Tim Walsh
Printed TIM WALSH

SUBDIVISION BOND

Bond No.: 152887

Principal Amount: \$55,000.00

KNOW ALL MEN BY THESE PRESENTS, that we **Estridge Development Co., Inc.**, 1041 W. Main St., Carmel, in 46032, as Principal, and **Frontier Insurance Company**, 2636 Elm Hill Pike, Ste. 500, Nashville, TN 37214, a New York corporation, as Surety, are held and firmly bound unto **Hamilton County Board of Commissioners**, One Hamilton County Square, Noblesville, IN 46060-2230, as Obligee, in the penal sum of **Fifty Five Thousand and 00/100** (Dollars) (\$55,000.00), lawful money of the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, **Estridge Development Co., Inc.** has agreed to construct in **Centennial, Section 2 Subdivision**, in **Hamilton County, IN**, the following improvements:

Erosion Control Improvements at Centennial, Section 2 Subdivision

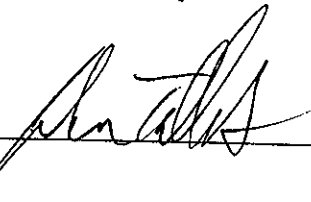
NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety, upon receipt of a resolution of the County Board indicating that the improvements have not been installed or completed, will complete the improvements or pay to the Obligee such amount up to the Principal amount of this bond which will allow the Obligee to complete the improvements.

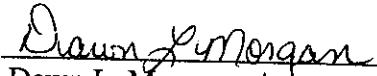
Upon approval by the Obligee, this instrument may be proportionately reduced as the public improvements are completed.

Signed, sealed and dated, this 3rd day of February, 2000.

ESTRIDGE DEVELOPMENT CO., INC.
Principal

FRONTIER INSURANCE COMPANY
Surety

By: 

By: 
Dawn L. Morgan, Attorney-in-Fact



SCHEER'S

INCORPORATED
1023 W. 55TH ST., COUNTRYSIDE, IL 60525 708-352-6282

SUBDIVISION BOND

Bond No.: 152888

Principal Amount: \$60,000.00

KNOW ALL MEN BY THESE PRESENTS, that we **Estridge Development Co., Inc.**, 1041 W. Main St., Carmel, in 46032, as Principal, and **Frontier Insurance Company**, 2636 Elm Hill Pike, Ste. 500, Nashville, TN 37214, a New York corporation, as Surety, are held and firmly bound unto **Hamilton County Board of Commissioners**, One Hamilton County Square, Noblesville, IN 46060-2230, as Obligee, in the penal sum of **Sixty Thousand and 00/100 (Dollars) (\$60,000.00)**, lawful money of the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, **Estridge Development Co., Inc.** has agreed to construct in **Centennial, Section 2 Subdivision**, in **Hamilton County, IN**, the following improvements:

Sub-Surface Drain Improvements at Centennial, Section 2 Subdivision

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety, upon receipt of a resolution of the County Board indicating that the improvements have not been installed or completed, will complete the improvements or pay to the Obligee such amount up to the Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public improvements are completed.

Signed, sealed and dated, this **3rd day of February, 2000.**

ESTRIDGE DEVELOPMENT CO., INC.

Principal

FRONTIER INSURANCE COMPANY

Surety

By: _____

By: _____

Dawn L. Morgan
Dawn L. Morgan, Attorney-in-Fact



SCHEER'S

INCORPORATED
1023 W. 55TH ST., COUNTRYSIDE, IL 60525 708-352-6282

SUBDIVISION BOND

Bond No.: 152889

Principal Amount: \$256,000.00

KNOW ALL MEN BY THESE PRESENTS, that we **Estridge Development Co., Inc.**, 1041 W. Main St., Carmel, in 46032, as Principal, and **Frontier Insurance Company**, 2636 Elm Hill Pike, Ste. 500, Nashville, TN 37214, a New York corporation, as Surety, are held and firmly bound unto **Hamilton County Board of Commissioners**, One Hamilton County Square, Noblesville, IN 46060-2230, as Obligee, in the penal sum of **Two Hundred Forty Six Thousand and 00/100 (Dollars) (\$246,000.00)**, lawful money of the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, **Estridge Development Co., Inc.** has agreed to construct in **Centennial, Section 2 Subdivision**, in **Hamilton County, IN**, the following improvements:

Storm Sewer Improvements at Centennial, Section 2 Subdivision

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety, upon receipt of a resolution of the County Board indicating that the improvements have not been installed or completed, will complete the improvements or pay to the Obligee such amount up to the Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public improvements are completed.

Signed, sealed and dated, this 3rd day of February, 2000.

ESTRIDGE DEVELOPMENT CO., INC.

Principal

FRONTIER INSURANCE COMPANY

Surety

By: _____

By: _____

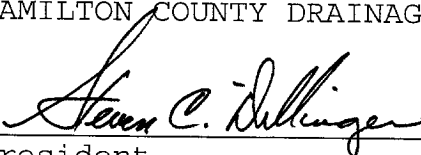
Dawn L. Morgan
Dawn L. Morgan, Attorney-in-Fact

FINDINGS AND ORDER
CONCERNING THE MAINTENANCE OF THE
Centennial Drain, Section 2 Arm

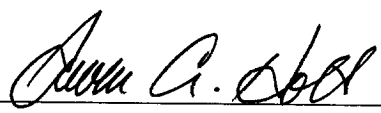
On this *24th day of July 2000*, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Centennial Drain, Section 2 Arm*.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.


HAMILTON COUNTY DRAINAGE BOARD



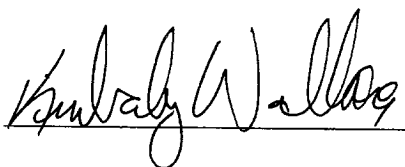
President



Member



Member

Attest: 

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: CENTENNIAL, SECTION 2

FILED
APR 05 2001
OFFICE OF HAMILTON COUNTY SURVEYOR

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana .
2. I am familiar with the plans and specifications for the above referenced subdivision .
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision .
4. The drainage facilities within the above referenced subdivision to the best of my knowledge , information and belief have been installed and completed in conformity with all plans and specifications .

Signature: [Handwritten Signature] Date: 3/31/01

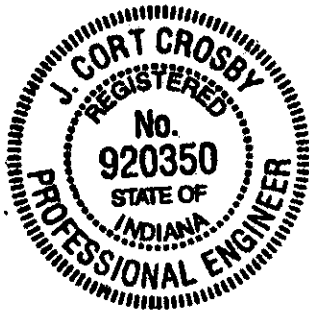
Type or Print Name: J. CORT CROSBY P.E.

Business Address: 8901 OTIS AVE

INDIANAPOLIS, IN 46216-1037

Telephone Number: (317) 826-7306

SEAL



INDIANA REGISTRATION NUMBER

920350

Revised 10/95

To: Hamilton County Drainage Board

October 22, 2002

Re: Centennial Drain: Sec 2 Arm

Attached are as-builts, certificate of completion & compliance, and other information for Centennial Sec 2. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated June 20, 2000. The report was approved by the Board at the hearing held July 24, 2000. (See Drainage Board Minutes Book 5, Pages 398-399)
The changes are as follows:

Structure:	T.C.:	I.E.:	Pipe:	Length:	Original Plans:
317	902.71	898.86			
317B	904.66	898.46	15	126.4	127
317B	904.66	898.4			
317A	897.97	897.97	15	176.3	179
358	904.64	900.14			
357	904.69	899.96	12	24.1	24
357	904.69	899.91			
356		893.99	12	42.9	45
375	899.79	894.29			
374		893	48	105.6	115
322	903.6	900.2			
321	904.54	899.74	12	100	
321	904.54	899.74			
320	903.96	899.46	12	48	
320	903.96	899.46			
319	903.77	899.33	12	24.3	24
319	903.77	899.33			
318		894.16	12	158.4	159
291	906.64	901.47			
292	907.48	901.69	15	154.1	153
292	907.48	901.69			
293	907.38	901.78	15	23.8	24

293	907.38	901.78			
294	906.29	902.14	15	146.3	148
294	906.29	902.59			
295	905.91	902.71	12	48.2	48
295	905.91	902.71			
296	905.86	902.76	12	24.3	24
210	905.33	902.57			
209	905.59	902.49	12	25.3	24
209	905.59	902.44			
209A	904.22	901.82	12	141.8	141
284	904.81	901.73			
283	905.21	901.5	12	119.5	120
283	905.21	901.45			
282	905.21	901.35	12	24.9	24
282	905.21	901.35			
281	905.3	901.2	12	16.8	18
281	905.3	901.07			
280	905.69	900.79	12	82.8	82
280	905.69	900.79			
285	904.9	899.04	12	125.7	126
313	905	902.07			
312	905	901.97	12	24.3	24
312	905	901.95			
311	903.82	900.52	12	147.5	147
311	903.82	900.47			
310		899.09	12	88	94
288	907.58	903.58			
287	906	903.05	12	55.9	54
287	906	902.95			
286	905.93	902.7	12	28.3	28
286	905.93	902.65			
285	904.9	900.48	12	160.6	160
299A	908.56	905.76			
299	908.77	904.28	12	80.12	95
299	908.77	903.13			
298	908.47	902.89	18	44.7	30
298	908.47	902.82			
297	908.53	902.51	18	28.5	28
297	908.53	902.27			
291	906.64	901.42	18	160.2	161
291	906.64	901.28			
290	907.52	900.65	18	41.3	43
290	907.52	900.6			
289	907.66	900.24	18	24	
289	907.66	900.01			
285	904.9	899.07	24	366.5	365
285	904.9	899.04			
280C		898.64	24	28.8	30

316	903.39	899.81			
315	903.32	899.62	12	24.3	24
315	903.32	899.59			
314		898.89	12	161	160
371	907.85	904.55			
370	907.44	904.39	12	44.9	45
370	907.44	904.34			
369	907.37	904.27	12	28	
369	907.37	904.17			
368		902.99	12	78.3	80
377	903.93	898.78			
376		898	48	596.8	600
363	905.59	903.37			
362	905.12	901.92	12	81.8	80
362	905.12	901.87			
361	904.85	901.6	12	23.6	26
361	904.85	901.6			
360	904.76	901.19	12	28	
360	904.76	901.19			
359		899.98	12	24.5	24
340	908.39	905.89			
336	908.95	905.55	12	129.2	130
336	908.95	905.55			
333	908.12	904.47	12	131.8	132
339	908.1	905.8			
338	908.89	905.39	12	78.2	83
338	908.89	905.39			
337	908.89	905.24	12	28	
337	908.89	905.24			
337A	910.08	904.83	15	80.9	79
337A	910.08	904.79			
333	908.12	904.47	15	98.3	102
333	908.12	904.22			
332	907.84	903.94	15	21.7	23
332	907.84	903.94			
331	907.9	903.8	15	24.2	24
331	907.9	903.7			
324	907.22	902.92	18	274.6	272
324	907.22	902.92			
323		902.55	24	103.2	106
367	905.66	903.16			
366	906.16	902.86	12	80.3	80
366	906.16	902.86			
365	906.17	902.67	12	27.9	28
365	906.17	902.67			
364		902.46	12	83	
345	908.76	905.41			
346	909.05	905.95	12	191.5	194

346	909.05	905.95			
347	908.55	906.2	12	94.3	92
335	909.09	905.34			
334	908.99	905.14	12	24.1	24
334	908.99	905.14			
333	908.12	904.47	12	129.3	128
330	908.17	905.07			
329	908.13	904.83	12	24	
329	908.13	904.73			
324	907.22	903.02	15	155.2	153
327A		906.72			
327	907.52	905.12	12	122.9	138
327	907.52	905.12			
326	908.08	904.78	12	42.5	41
326	908.08	904.78			
325	908.04	904.39	12	28.1	28
325	908.04	904.29			
324	907.22	903.12	12	135.7	136
352	909.14	906.64			
351	909.07	906.37	12	125.5	125
351	909.07	906.37			
350	909.64	905.94	12	122.3	125
350	909.64	905.94			
349	909.67	905.87	12	24	
349	909.67	905.57			
348	910.5	905.5	15	47.9	46
348	910.5	905.5			
345	908.76	905.36	15	82.5	85
345	908.76	905.31			
344	910.26	904.86	15	74.8	77
344	910.26	904.86			
343	909.04	904.64	15	57.5	54
343	909.04	904.64			
342	909.09	904.49	15	24	
342	909.09	904.49			
341		903.03	15	155.1	155
373	907.49	902.77			
372		902.34	36	191.7	192
379		904.42			
378		902.52	12	16.4	16
299	908.77				
EX STR			18	365	
280A-280B			12	25	
359A-359B			12	20	
341A-341B			12	25	
368A-368B			12	25	
353A-353B			12	20	
310A-310B			12	20	

318A-318B			12	30	
323A-323B			15	20	
355	904.46	901.51			
354	904.42	901.36	12	24.5	24
354	904.42	901.36			
353		894.19	12	83.2	85

**RCP Pipe
Totals:**

12	4017.82
15	1469
18	938.3
24	498.5
36	191.7
48	702.4

Other Drain:	
OPEN DITCH	960
6" SSD	2144

The length of the drain due to the changes described above is now **10,921 feet**.

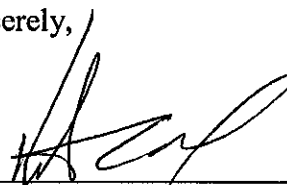
The Osborn & Collins#2 was slightly realigned and runs through the lakes constructed for this subdivision. There were some portions of the open ditch vacated and replaced with the storm sewer constructed with this section. The vacated portions of the open ditch are as follows: Sta 12+00 to 12+77, Sta 23+38 to 29+35, and Sta 39+95 to 41+00. Therefore, the Osborn & Collins # 2 is now **25,801 feet**.

The non-enforcement was approved by the Board at its meeting on July 24, 2000 and recorded under instrument #20000039010 & 20000039012.

The bond or letter of credit from Frontier Insurance Co, number 152887, 152888, 152889; dated February 3, 2000; in the amount of \$55,000 for Erosion Control, \$60,000 for Sub-surface drains, and \$256,000 for Storm Sewers; was released April 23, 2001.

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward,
Hamilton County Surveyor

KCW/slm

- SEC. 15-T18N-R3E -

CENTENNIAL SECTION 2

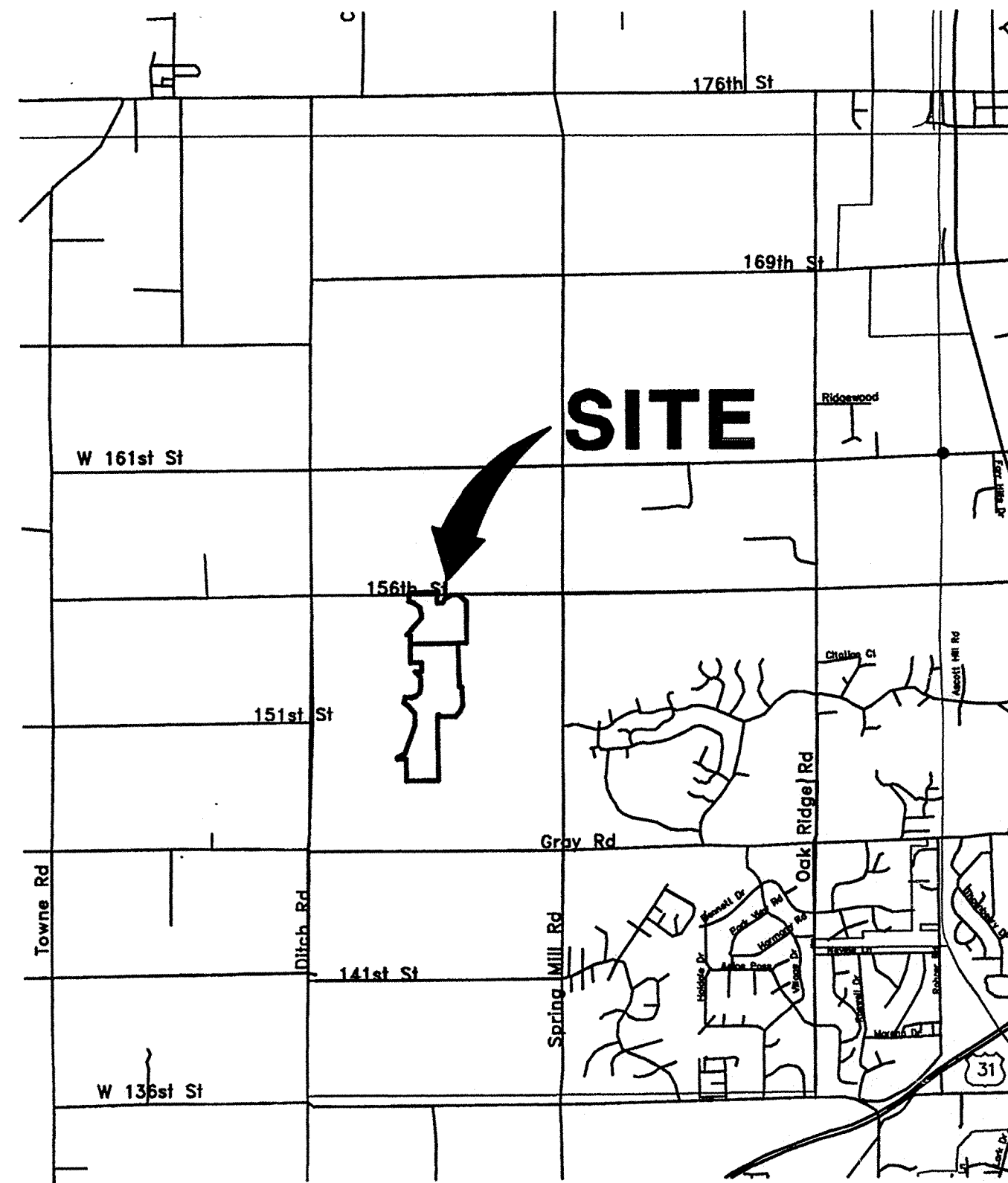
(CONSTRUCTION PLANS)

HAMILTON COUNTY WESTFIELD, INDIANA

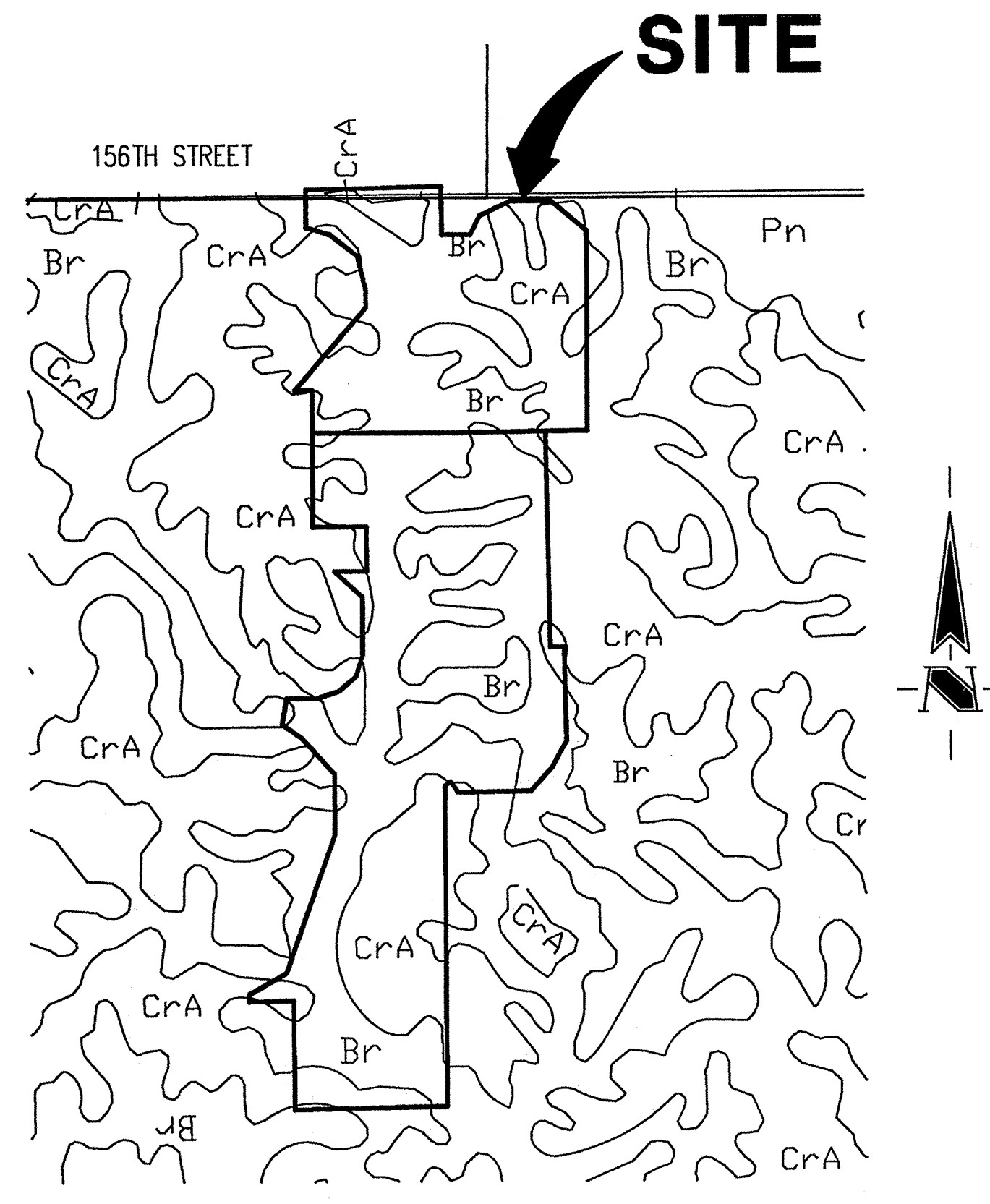
DEVELOPER:

ESTRIDGE DEVELOPMENT CO., INC.

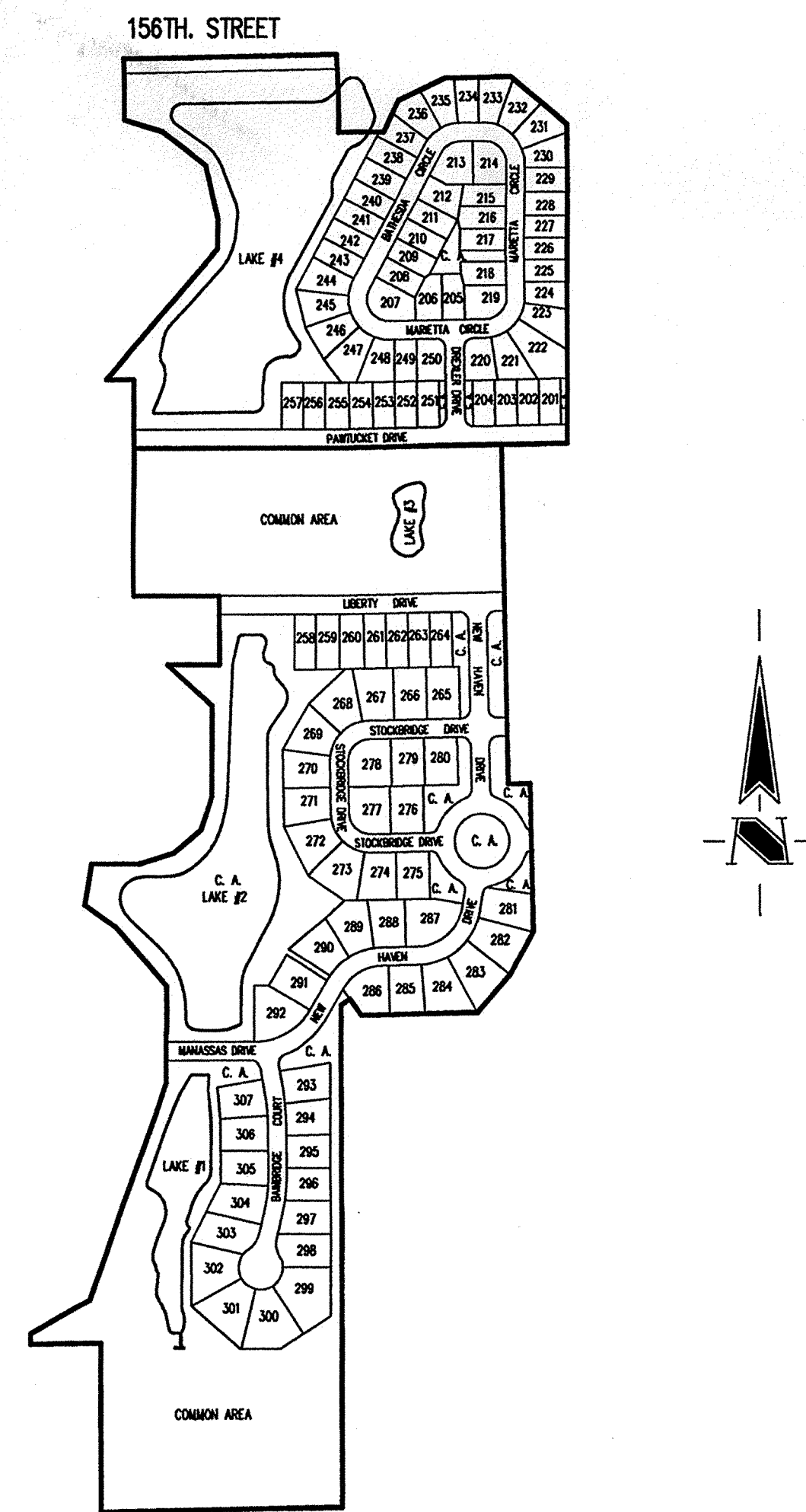
1041 WEST MAIN STREET
CARMEL, INDIANA 46032
(317) 582-2456



AREA MAP
SCALE: 1"=3000'

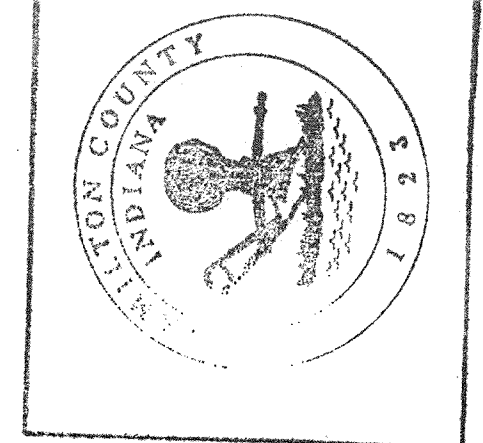


SOILS MAP
SCALE: 1"=600'



SITE MAP
SCALE: 1"=400'

The information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.
Entry Date: 10/23/2002
Entered by: SUZANNE L. MILLS
JMH



INDEX	
SHEET No.	DESCRIPTION
C100	COVER SHEET
C101-C104	DEVELOPMENT PLAN
C105	STRUCTURE DATA AND INFORMATION
C106-C109	EROSION CONTROL PLAN
C110	EROSION CONTROL DETAILS
C201-C206	STREET PLAN
C301, C302	CUL-DE-SAC & INTERSECTION DETAILS
C303	TRAFFIC CONTROL PLAN
C401-C406	SANITARY SEWER PLAN
C601-C607	STORM SEWER PLAN
C701-C703	WATER DISTRIBUTION PLAN
C704	WATER DISTRIBUTION DETAILS
C801-C804	GENERAL DETAILS
C901	SPECIFICATIONS

* 25 MPH DESIGN SPEED PER HAMILTON CO. H.W. DEPT.



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CERTIFIED BY: J. CORT CROSBY, P.E.

E-MAIL ADDRESS: ccrosby@theschneidercorp.com

DATE:	BY:	DESCRIPTION:
02/19/99	PRC	ALL SHEETS REVISED EXCEPT C110, C704, C802 TO C804
03/10/99	PRC	C100, C101, C102, C103 & C303.
04/22/99	PRC	C100, C101, C102, C103, C104, C105, C607 & C802.
12/08/99	DRP	C100-C104, C106-C109
12/17/99	PRC	ALL SHEETS EXCEPT C704, C801-C804 & C901
02/18/00	PRC	ALL SHEETS EXCEPT C110, C704, C801-C804 & C901
03/29/01	DRP	C100, C101-C104, C801-C807

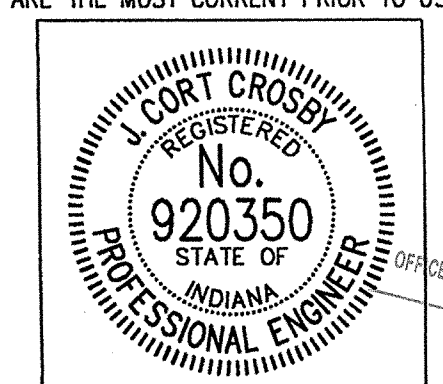
PROJECT ENGINEER: _____

CHECKED BY: _____ DATE CHECKED: _____

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THESE DOCUMENTS ARE SUBJECT TO PERIODIC REVISIONS BY THE SCHNEIDER CORPORATION. THE HOLDER IS RESPONSIBLE FOR VERIFYING THAT THESE DOCUMENTS ARE THE MOST CURRENT PRIOR TO USE.



DATE: 3/31/01

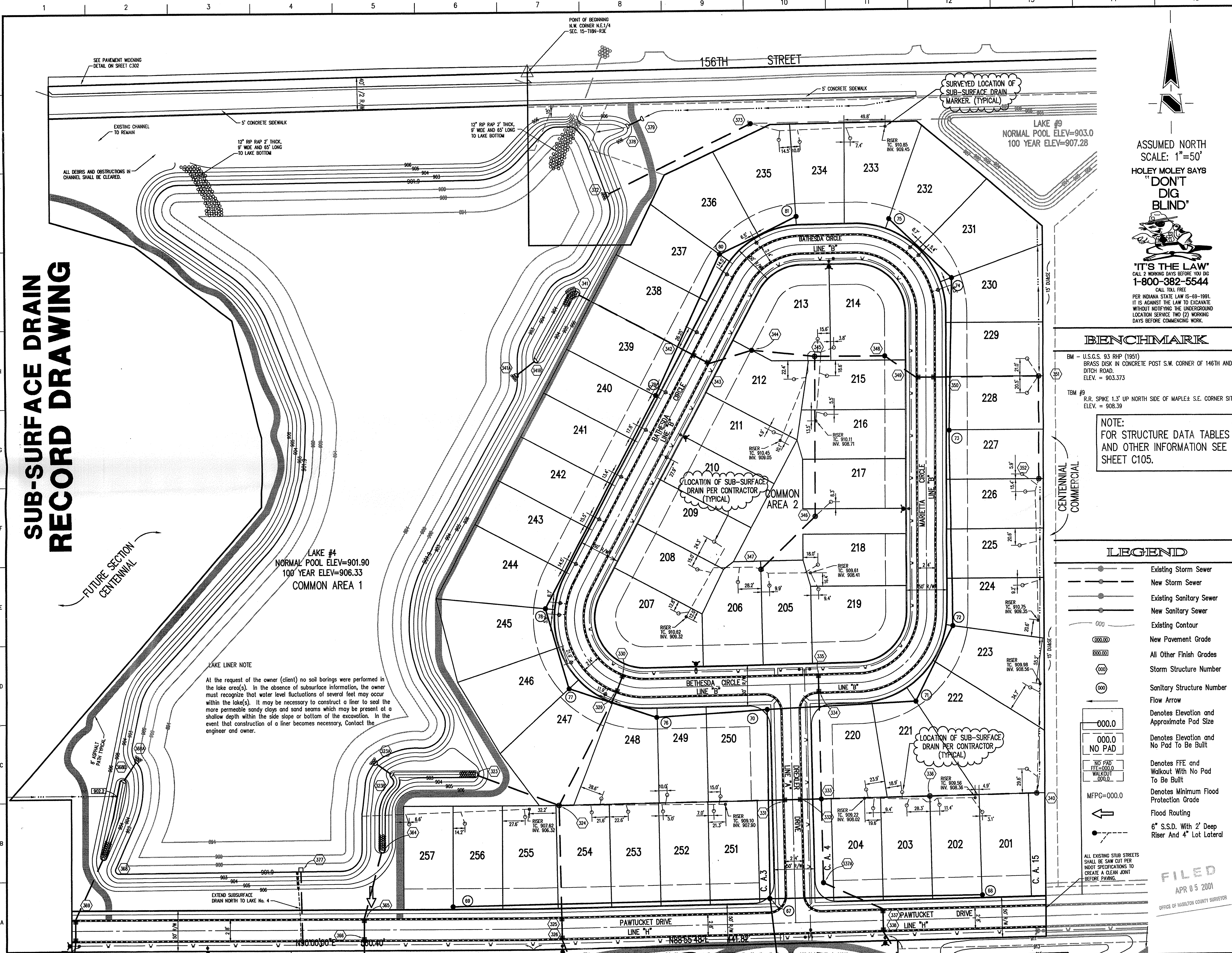
FILED
APR 05 2001

SHEET
C100
OF
42

JOB No. (753.002)

**STORM SEWER
SUB-SURFACE DRAIN
RECORD DRAWING**

SUB-SURFACE DRAIN RECORD DRAWING



FUTURE SECTION CENTENNIAL

LAKE #4
NORMAL POOL ELEV=901.90
100 YEAR ELEV=906.33
COMMON AREA 1

LAKE LINER NOTE
At the request of the owner (client) no soil borings were performed in the lake area(s). In the absence of subsurface information, the owner must recognize that water level fluctuations of several feet may occur within the lake(s). It may be necessary to construct a liner to seal the more permeable sandy clays and sand seams which may be present at a shallow depth within the side slope or bottom of the excavation. In the event that construction of a liner becomes necessary, Contact the engineer and owner.

EXTEND SUBSURFACE DRAIN NORTH TO LAKE No. 4

ASSUMED NORTH SCALE: 1"=50'
HOLEY MOLEY SAYS "DON'T DIG BLIND"

"IT'S THE LAW"
CALL 2 WORKING DAYS BEFORE YOU DIG
1-800-382-5544
CALL TOLL FREE
PER INDIANA STATE LAW IS-69-1991, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

BENCHMARK
BM - U.S.G.S. 93 RHP (1951)
BRASS DISK IN CONCRETE POST S.W. CORNER OF 146TH AND DITCH ROAD.
ELEV. = 903.373
TBM #9
R.R. SPIKE 1.3" UP NORTH SIDE OF MAPLE S.E. CORNER SITE.
ELEV. = 908.39

NOTE:
FOR STRUCTURE DATA TABLES AND OTHER INFORMATION SEE SHEET C105.

CERTIFICATION FOR "RECORD DRAWING"
NOTE:
Record drawing certification for sub-surface drain marker location only.

LEGEND

- Existing Storm Sewer
- New Storm Sewer
- Existing Sanitary Sewer
- New Sanitary Sewer
- Existing Contour
- New Pavement Grade
- All Other Finish Grades
- Storm Structure Number
- Sanitary Structure Number
- Flow Arrow
- Denotes Elevation and Approximate Pad Size
- Denotes Elevation and No Pad To Be Built
- Denotes FFE and Walkout With No Pad To Be Built
- Denotes Minimum Flood Protection Grade
- Flood Routing
- 6" S.S.D. With 2' Deep Riser And 4" Lot Lateral

GENERAL NOTES

- ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
- IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO HIS PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN FIELD BEFORE WORK IS STARTED OR RESUMED.
- STANDARD SPECIFICATIONS FOR THE HAMILTON WESTERN UTILITIES SHALL APPLY FOR ALL SANITARY SEWERS.
- ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
- THE SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE PER INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY COMPANIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION FOR FIELD LOCATION OF SERVICES.
- SERVICE WALKS SHALL BE NON-REINFORCED CONCRETE 4" THICK AND 4' IN WIDTH.
- 4" CONCRETE SERVICE WALK ACROSS FRONTAGE OF EACH LOT TO BE CONSTRUCTED BY OTHERS.
- EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTION AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS. CONSTRUCTION JOINTS AND PERPENDICULAR SIDEWALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
- ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
- CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
- ALL REAR YARD SUBSURFACE DRAINS ARE TO BE 6" MINIMUM, EXCEPT FOR INDIVIDUAL LOT CONNECTIONS WHICH ARE TO BE 4" MINIMUM.

Revisions

- PRC 02/19/99 RENUMBERED LOTS, ADJUSTED SAN & STM & LOT 201 TO 203 & 250 TO 256, ADDED SDDS NOTE GOING INTO LAKE No. 4 & STREET STUB SAW CUT NOTE, ALSO ADDED NON-ACCESS ESMT. ALONG R/W OF 156TH STREET & PAVEMENT WIDENING NOTE.
- PRC 03/10/99 REV. ESMT TO EAST IN COMMERCIAL AREA TO BE 15' & ON LOT 218 REDUCED REAR YARD ESMT. TO 10' & MOVED SDD STRUCTURE TO LOT 217.
- PRC 04/22/99 ADJUSTED NORTHEAST CORNER OF LAKE #4 & STM. STR. LOCATIONS OF 378 & 379, ADDED SEC. CORNER & CALL & CLEARING NOTE @ NORTHEAST OF LAKE #4 & ADDED 15' DIBSE CALL TO EAST OF PROPERTY.
- DRP 12/07/99 REVISED PIPE DISCHARGE POINTS PER DEM.
- PRC 02/18/00 REV. LOT #5 STM, SAN, LOT & STREET GRADING & SDDS, ALONG WITH THE NORTH SIDE OF PAWTUCKET DRIVE.
- DRP 03/29/01 SUB-SURFACE DRAIN RECORD DRAWING.

Professional Engineer Seal:
J. COURT CROSBY
REGISTERED No. 920350
STATE OF INDIANA
PROFESSIONAL ENGINEER

CERTIFIED BY: *[Signature]* 3/31/01

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ESTRIDGE DEVELOPMENT CO., INC.
CENTENNIAL SECTION 2
WESTFIELD, INDIANA

**DEVELOPMENT PLAN
SUB-SURFACE DRAIN LOCATIONS**

Date 01/20/99	Project No. 753.002	Drawn PRC	Approv.
Computer Files # 753.002.DWGSC101VSD XREF: 0029S XREF: # 753.001.DWGSD01BS XREF: # 753.003.DWGSD03BS XREF: # 753.001.DWGSD753TOPD XREF: # 753.006.DWGSDVC-CHURCH	Sheet No. C101		

FILED
APR 5 2001
OFFICE OF HAMILTON COUNTY SURVEYOR



GENERAL NOTES

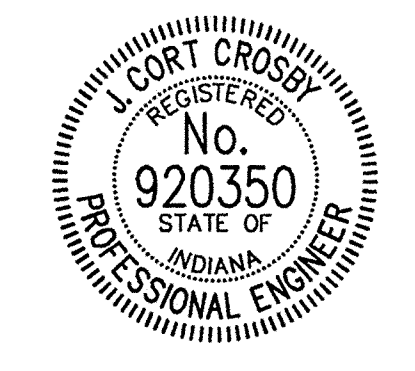
1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
2. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO HIS PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN FIELD BEFORE WORK IS STARTED OR RESUMED.
3. STANDARD SPECIFICATIONS FOR THE HAMILTON WESTERN, UTILITIES SHALL APPLY FOR ALL SANITARY SEWERS.
4. ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
5. THE SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE PER INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY COMPANIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION FOR FIELD LOCATION OF SERVICES.
6. SERVICE WALKS SHALL BE NON-REINFORCED CONCRETE 4" THICK AND 4' IN WIDTH.
7. 4" CONCRETE SERVICE WALK ACROSS FRONTAGE OF EACH LOT TO BE CONSTRUCTED BY OTHERS.
8. EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTION AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS. CONTRACTION JOINTS AND PERPENDICULAR SIDEWALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
9. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
10. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
11. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
12. ALL REAR YARD SUBSURFACE DRAINS ARE TO BE 6" MINIMUM, EXCEPT FOR INDIVIDUAL LOT CONNECTIONS WHICH ARE TO BE 4" MINIMUM.

SUB-SURFACE DRAIN RECORD DRAWING

- Revisions
1. PRC 02/19/99 ADJUSTED LOT 201 TO 203, 250 TO 255 & 256 TO 261 RENUMBERED LOTS, ADJUSTED SIM & SAN., ADDED STREET STUB NOTE SAW CUT & S&S OUTLET BY SIM, STR. # 372.
 2. PRC 03/10/99 ADDED PLAYGROUND STRUCTURES, BIG WHEEL TRACK, EXTRA MOUNDING & CHANGED TENNIS COURT TO BE A VOLLEYBALL COURT.
 3. PRC 04/22/99 ADJUSTED REAR YARD ESMTS @ LOTS 276-278 & 279-282 & CALLS & IN LARGE COMMON AREAS CHANGED ESMT CALLS FROM DISEASE TO DRAINAGE ESMTS.
 4. PRC 06/11/99 REVISED MOUNDING IN PARK COMMON AREA.
 5. DRP 12/07/99 REVISED PIPE DISCHARGE POINTS PER IDEM.
 6. DRP 12/17/99 REVISED LAYOUT OF LOTS 256-273.
 7. PRC 02/18/00 REV. LOT #'S SIM, SAN, LOT & STREET GRADING, ALONG THE SIDE OF PAWTUCKET DRIVE.
 8. DRP 03/29/01 SUB-SURFACE DRAIN RECORD DRAWING.

CERTIFICATION FOR "RECORD DRAWING"

NOTE: Record drawing certification for sub-surface drain marker location only.



CERTIFIED BY: *[Signature]*
3/31/01

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ESTRIDGE DEVELOPMENT CO., INC.
CENTENNIAL SECTION 2
WESTFIELD, INDIANA

DEVELOPMENT PLAN SUB-SURFACE DRAIN LOCATIONS			
Date	Project No.	Drawn	Approved
01/20/99	753.002	PRC	
Computer Files		Sheet No.	
J:\753\002\DWG\C102		C102	
XREF: 00265			
XREF: J:\753\001\DWG\001B			
XREF: J:\753\003\DWG\003B			
XREF: J:\753\001\DWG\753STD			
XREF: J:\753\006\DWG\C-CHURCH			

HOLEY MOLEY SAYS
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IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

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- BM - U.S.G.S. 93 RHP (1951)
BRASS DISK IN CONCRETE POST S.W. CORNER OF 146TH AND DITCH ROAD.
ELEV. = 903.373
- TBM #9
R.R. SPIKE 1.3' UP NORTH SIDE OF MAPLE & S.E. CORNER SITE.
ELEV. = 908.39

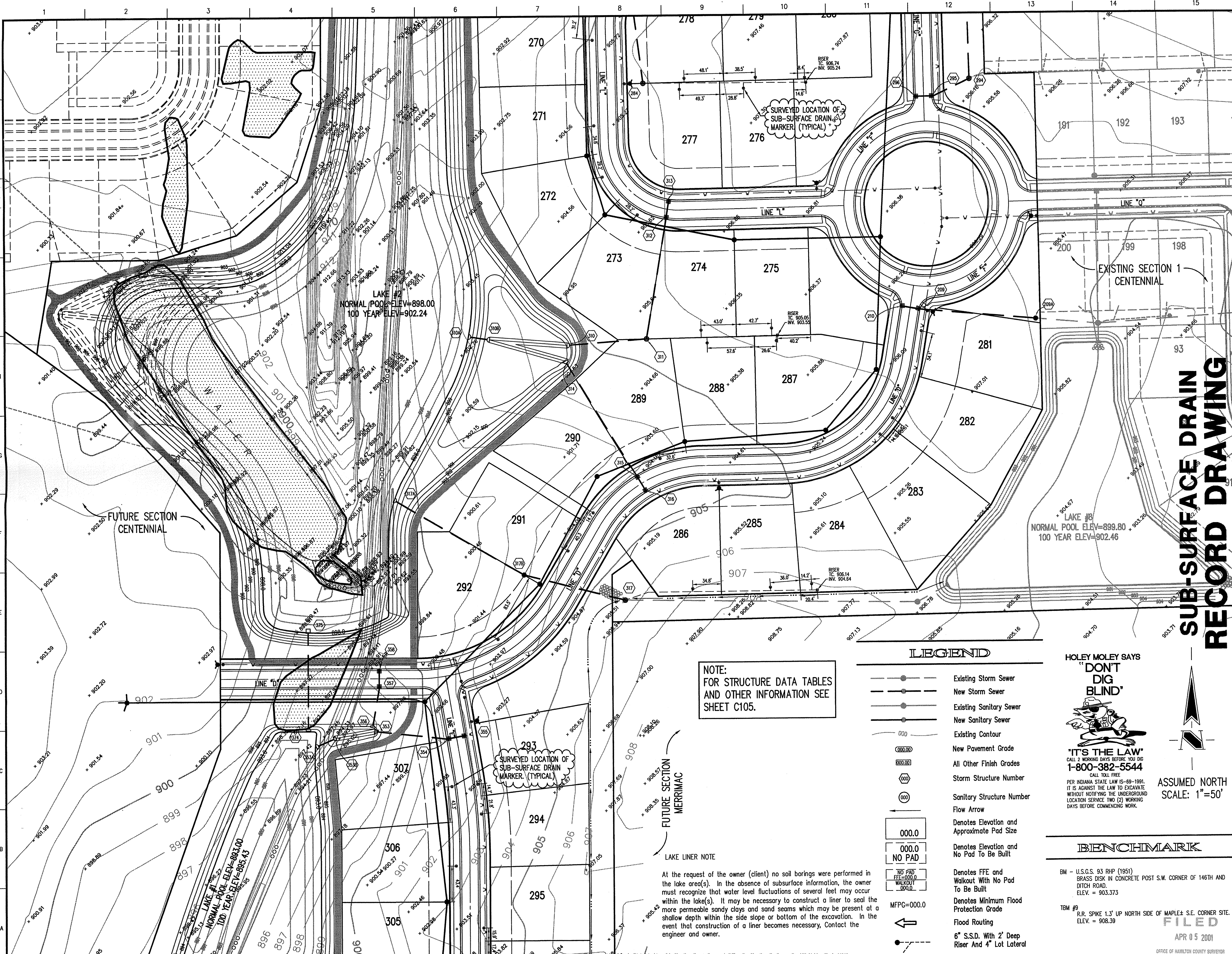
NOTE:
FOR STRUCTURE DATA TABLES
AND OTHER INFORMATION SEE
SHEET C105.

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SURVEYED LOCATION OF
SUB-SURFACE DRAIN
MARKER. (TYPICAL)

SURVEYED LOCATION OF
SUB-SURFACE DRAIN
MARKER. (TYPICAL)



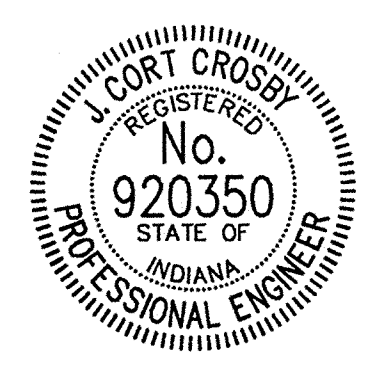
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- Revisions
- PRC 02/19/99 ADDED STREET SUB SAW CUT NOTE, RENUMBERED LOTS & ADJUSTED LOTS 272 TO 274 ALSO ADDED DIMS FOR ROUNDABOUT AND ADDED ASPHALT PATHS NOTE.
 - PRC 03/10/99 REV. PADS TO SAY NO PAD ON LOTS 283 TO 284 & CHANGED ESMT REAR YARD ON LOTS 273 TO 275 & 285 TO 291.
 - PRC 04/22/99 ADJUSTED CONTOURS OF LAKES #1 & #2 TO BE 15' FROM R/W ALONG NEW HAVEN DRIVE & DIMENSIONED, CHANGED REAR YARD ESMTS OF LOTS 276-278 ADDED SEC CORNER & CALL ON PROPERTY LINE & COMMON AREA 13 AS DRAINAGE ESMT.
 - DRP 12/07/99 REVISED PIPE DISCHARGE POINTS PER DEM.
 - DRP 12/17/99 REVISED LAYOUT OF LOTS 285-275.
 - PRC 02/18/00 REV. LOT NUMBERS & STORM BY LOT 307.
 - DRP 03/29/01 SUB-SURFACE DRAIN RECORD DRAWING.

CERTIFICATION FOR "RECORD DRAWING"

NOTE:
Record drawing certification for sub-surface drain marker location only.



CERTIFIED BY *[Signature]*
3/31/01

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ESTRIDGE DEVELOPMENT CO., INC.
CENTENNIAL SECTION 2
WESTFIELD, INDIANA

**DEVELOPMENT PLAN
SUB-SURFACE DRAIN LOCATIONS**

Date	Project No.	Drawn	Apprv.
01/20/99	753.002	PRC	
Computer Files		Sheet No.	
\753\002\DWG\C103 XREF: 002B5 XREF: \753\001\DWG\S001B5 XREF: \753\003\DWG\S003B5 XREF: \753\001\DWG\S753TOPD XREF: \1045\DWG\S685		C103	

SUB-SURFACE DRAIN RECORD DRAWING

LEGEND

- Existing Storm Sewer
- New Storm Sewer
- Existing Sanitary Sewer
- New Sanitary Sewer
- Existing Contour
- New Pavement Grade
- All Other Finish Grades
- Storm Structure Number
- Sanitary Structure Number
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ASSUMED NORTH
SCALE: 1"=50'

BENCHMARK

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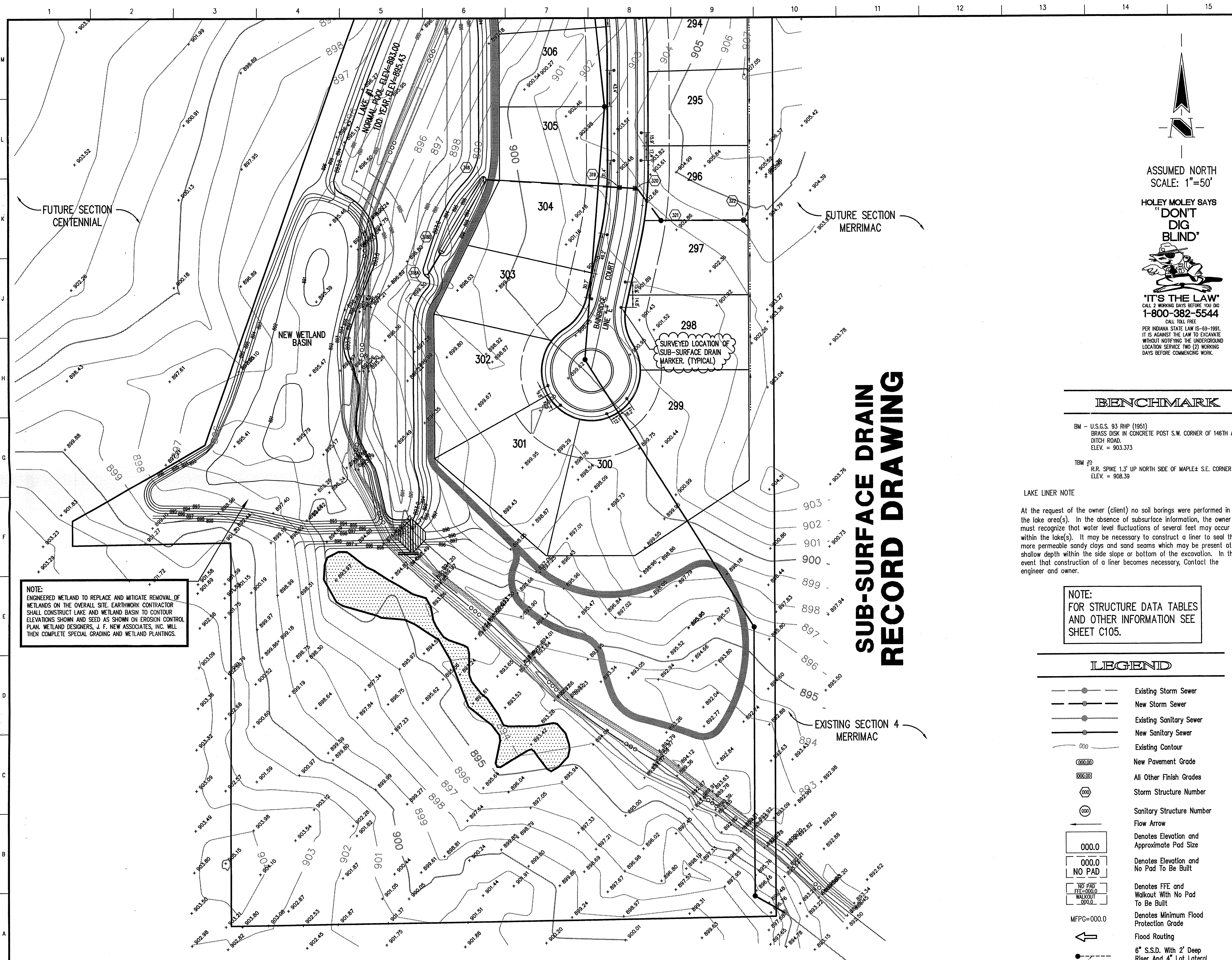
TBM #3
R.R. SPIKE 1.3' UP NORTH SIDE OF MAPLES S.E. CORNER SITE.
ELEV. = 908.39

FILED
APR 05 2001
OFFICE OF HAMILTON COUNTY SURVEYOR

NOTE:
FOR STRUCTURE DATA TABLES AND OTHER INFORMATION SEE SHEET C105.

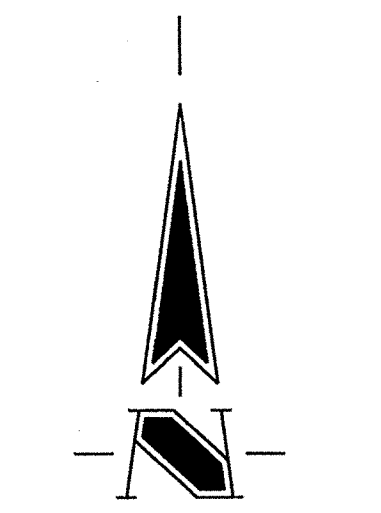
LAKE LINER NOTE

At the request of the owner (client) no soil borings were performed in the lake area(s). In the absence of subsurface information, the owner must recognize that water level fluctuations of several feet may occur within the lake(s). It may be necessary to construct a liner to seal the more permeable sandy clays and sand seams which may be present at a shallow depth within the side slope or bottom of the excavation. In the event that construction of a liner becomes necessary, Contact the engineer and owner.



NOTE:
ENGINEERED WETLAND TO REPLACE AND MITIGATE REMOVAL OF WETLANDS ON THE OVERALL SITE. EARTHWORK CONTRACTOR SHALL CONSTRUCT LAKE AND WETLAND BASIN TO CONTOUR ELEVATIONS SHOWN AND SEED AS SHOWN ON EROSION CONTROL PLAN. WETLAND DESIGNERS, J. F. NEW ASSOCIATES, INC. WILL THEN COMPLETE SPECIAL GRADING AND WETLAND PLANTINGS.

SUB-SURFACE DRAIN RECORD DRAWING



ASSUMED NORTH
SCALE: 1"=50'

HOLEY MOLEY SAYS
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CALL TOLL FREE
PER INDIANA STATE LAW IS-69-1991,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

BENCHMARK

BM - U.S.G.S. 93 RHP (1951)
BRASS DISK IN CONCRETE POST S.W. CORNER OF 146TH AND
DITCH ROAD.
ELEV. = 903.373

TBM #0
R.R. SPIKE 1.3' UP NORTH SIDE OF MAPLE S.E. CORNER SITE.
ELEV. = 908.39

LAKE LINER NOTE

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NOTE:
FOR STRUCTURE DATA TABLES
AND OTHER INFORMATION SEE
SHEET C105.

LEGEND

- Existing Storm Sewer
- New Storm Sewer
- Existing Sanitary Sewer
- New Sanitary Sewer
- Existing Contour
- New Pavement Grade
- All Other Finish Grades
- Storm Structure Number
- Sanitary Structure Number
- Flow Arrow
- Denotes Elevation and Approximate Pad Size
- Denotes Elevation and No Pad To Be Built
- Denotes FFE and Walkout With No Pad To Be Built
- Denotes Minimum Flood Protection Grade
- Flood Routing
- 6" S.S.D. With 2' Deep Riser And 4' Lot Lateral

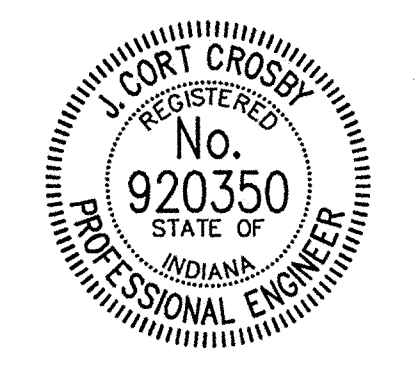
GENERAL NOTES

1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
2. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO HIS PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN FIELD BEFORE WORK IS STARTED OR RESUMED.
3. STANDARD SPECIFICATIONS FOR THE HAMILTON WESTERN UTILITIES SHALL APPLY FOR ALL SANITARY WESTERN.
4. ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
5. THE SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE PER INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY COMPANIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION FOR FIELD LOCATION OF SERVICES.
6. SERVICE WALKS SHALL BE NON-REINFORCED CONCRETE 4" THICK AND 4' IN WIDTH.
7. 4" CONCRETE SERVICE WALK ACROSS FRONTAGE OF EACH LOT TO BE CONSTRUCTED BY OTHERS.
8. EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTION AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS. CONTRACTION JOINTS AND PERPENDICULAR SIDEWALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
9. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
10. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
11. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
12. ALL REAR YARD SUBSURFACE DRAINS ARE TO BE 6" MINIMUM, EXCEPT FOR INDIVIDUAL LOT CONNECTIONS WHICH ARE TO BE 4" MINIMUM.

- Revisions**
1. PRC 02/19/99 REVISED LOT NUMBERS & ADDED CURB NOTE AT CUL-DE-SAC.
 2. PRC 04/22/99 ADDED DEBRIS CLEARING NOTE.
 3. DRP 12/07/99 REVISED PIPE DISCHARGE POINTS PER IEM.
 4. PRC 02/16/00 REV. LOT NUMBERS.
 5. DRP 03/29/01 SUB-SURFACE DRAIN RECORD DRAWING.

CERTIFICATION FOR "RECORD DRAWING"

NOTE:
Record drawing certification for sub-surface drain marker location only.



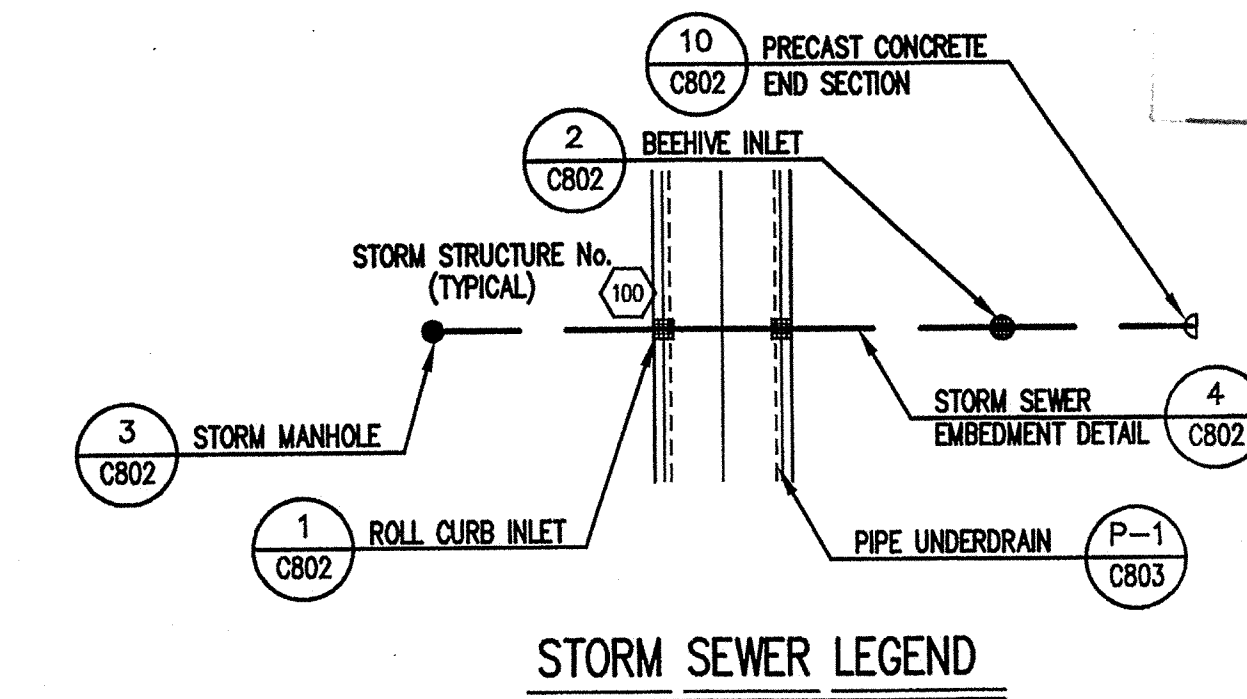
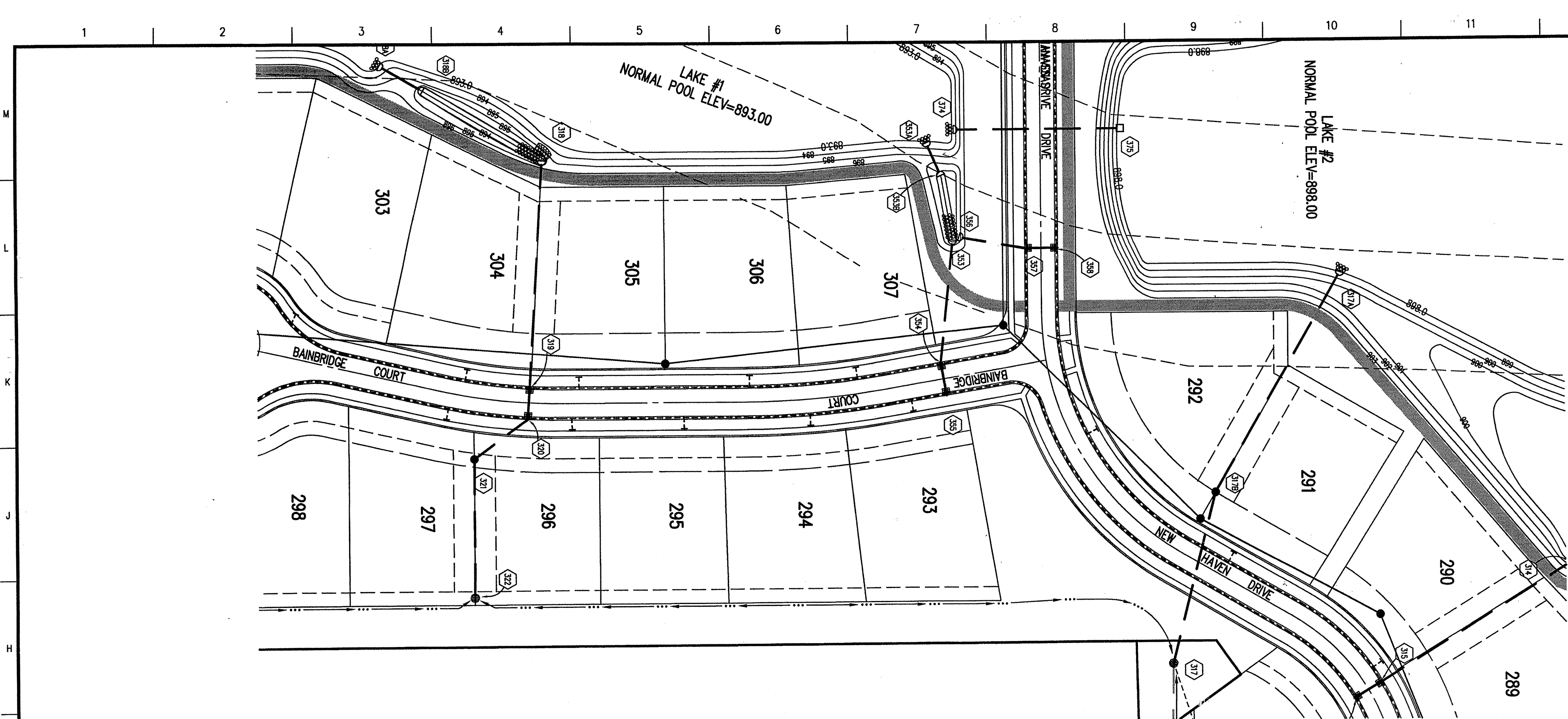
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Indianapolis, Indiana
46228-6518
317-898-8282
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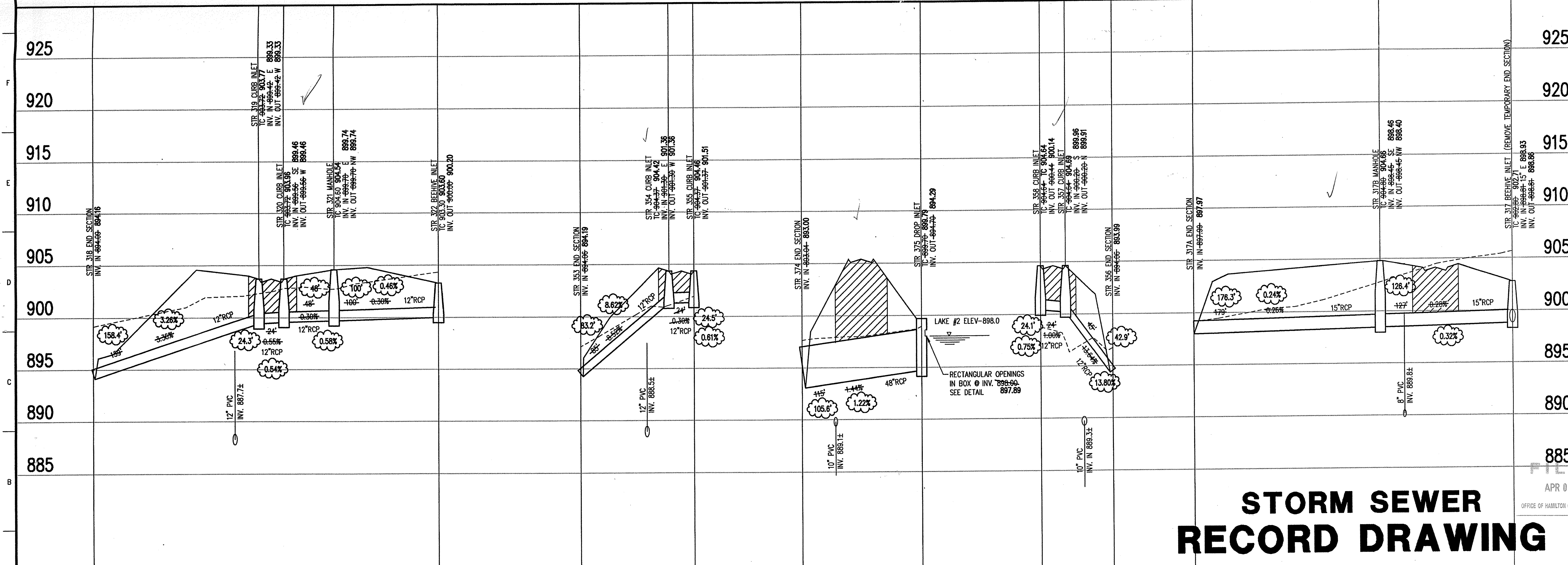
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ESTRIDGE DEVELOPEMENT CO., INC. CENTENNIAL SECTION 2 WESTFIELD, INDIANA			
DEVELOPMENT PLAN SUB-SURFACE DRAIN LOCATIONS			
Date 01/20/99	Project No. 753.002	Drawn PRC	Approv.
Computer Files J:\753\002\DWG\C104XSRD XREF: J:\753\001\DWG\001B5 XREF: J:\753\003\DWG\003B5 XREF: J:\753\001\DWG\753TOP0 XREF: J:\045\DWG\045B5_05B5		Sheet No. C104	



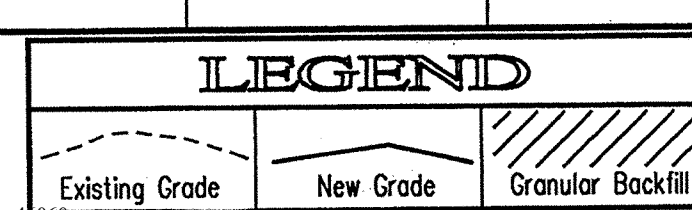
STORM SEWER PLAN

SCALE: 1"=50'



STORM SEWER PROFILE

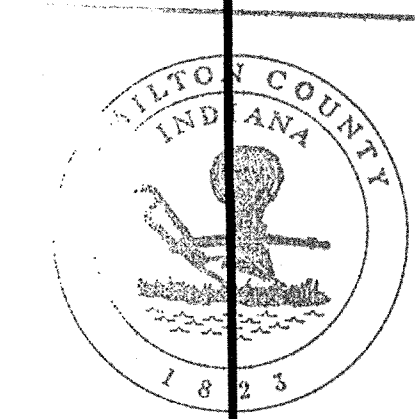
STORM SEWER RECORD DRAWING



SCALE: HORZ.: 1"=50'
VERT.: 1"=5'

GENERAL NOTES

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Entry Date: 10/23/2002
Entered by: Suzanne L. Nide JPH

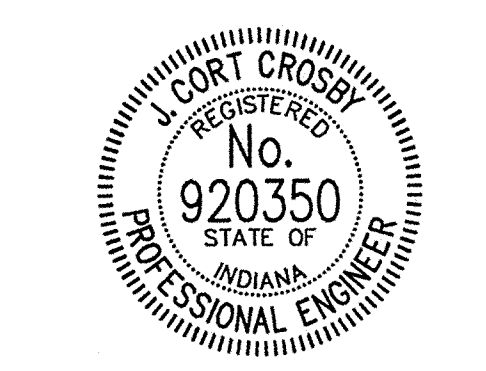
BENCHMARK

BM - U.S.G.S. 93 RHP (1951)
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TBM #9
R.R. SPIKE 1.3' UP NORTH SIDE OF MAPLE S.E. CORNER SITE.
ELEV. = 908.39

- Revisions
- DRP 2/19/99 REVISED LOT NUMBERS
 - DRP 12/17/99 REVISED STORM SEWERS & LOT NUMBERS
 - DRP 02/16/00 ADJUSTED LOT NUMBERS
 - DRP 03/29/01 STORM SEWER RECORD DRAWING

CERTIFICATION FOR "RECORD DRAWING"

NOTE:
Record drawing certification for top of casting, invert elevations, and lengths of pipe only. Slope percentage represents a calculated figure and is for general information only.



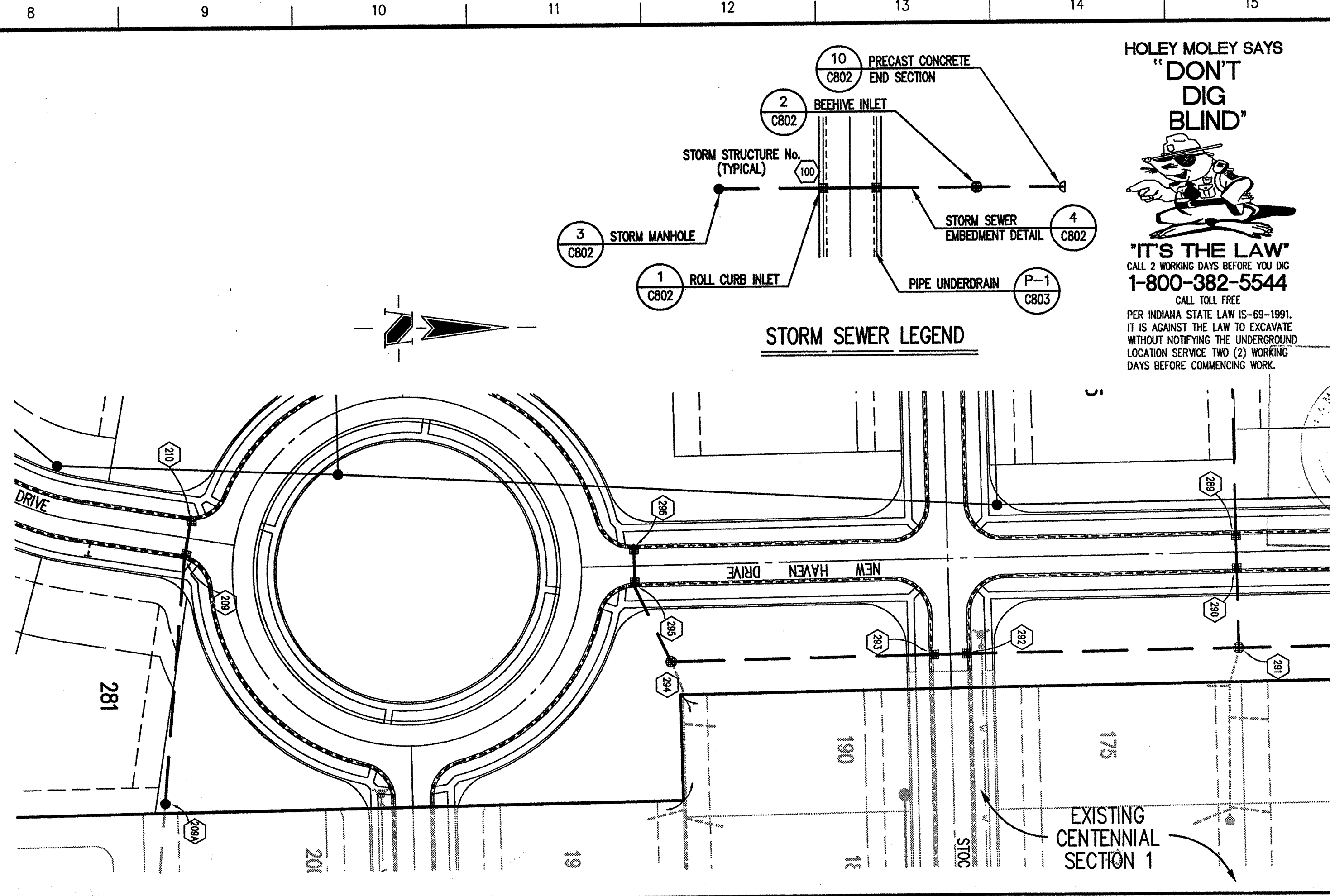
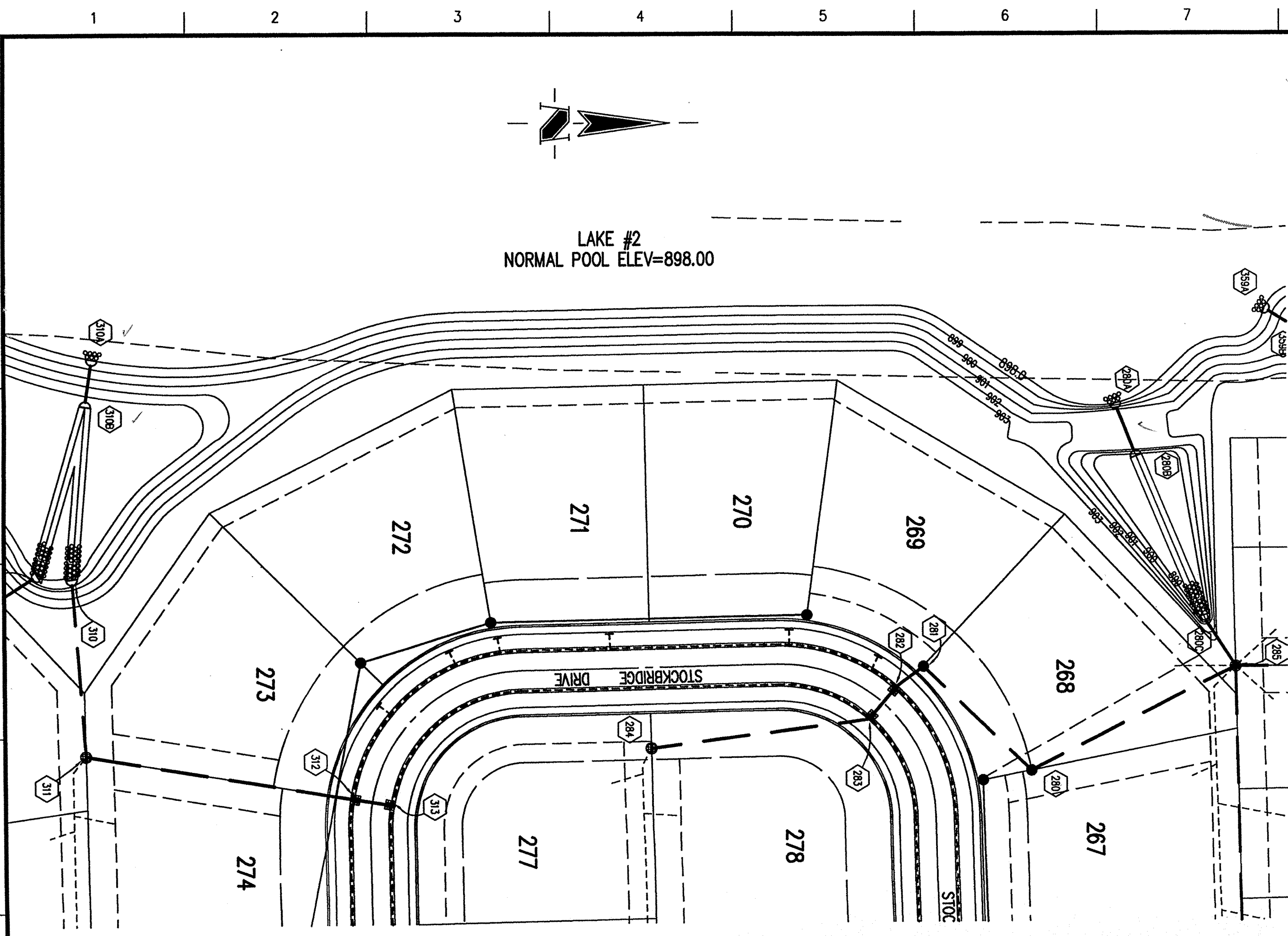
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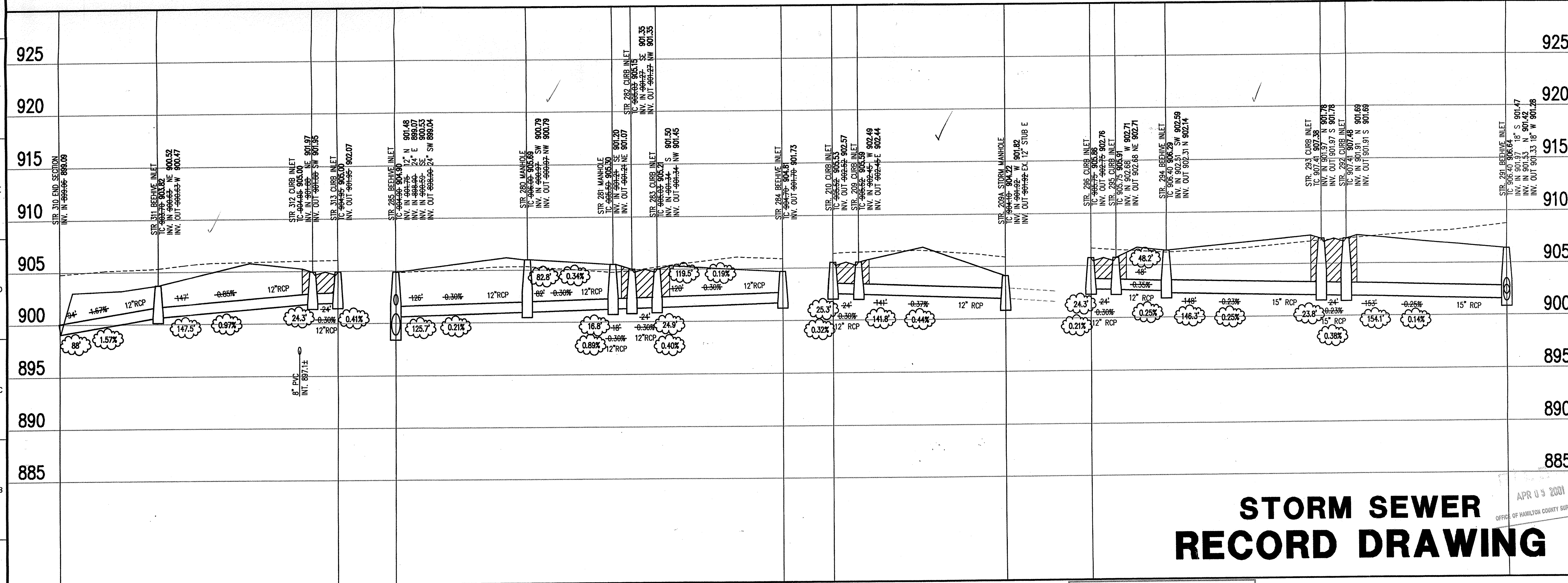
ESTRIDGE DEVELOPEMENT CO., INC.
CENTENNIAL SECTION 2
WESTFIELD, INDIANA
STORM SEWER PLAN

Date	Project No.	Drawn	Approv.
01/20/99	753.002	DRP	
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XREF: R:\753\002\DWG\002B6			
XREF: R:\753\001\DWG\001B5			
XREF: R:\753\003\DWG\003B5			



STORM SEWER PLAN

SCALE: 1"=50'



STORM SEWER PROFILE

LEGEND

	Existing Grade
	New Grade
	Granular Backfill

SCALE: HORZ.: 1"=50'
VERT.: 1"=5'

STORM SEWER RECORD DRAWING

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Entry Date: 10/23/01
Entered by: *Suzanne Mills*
JDH

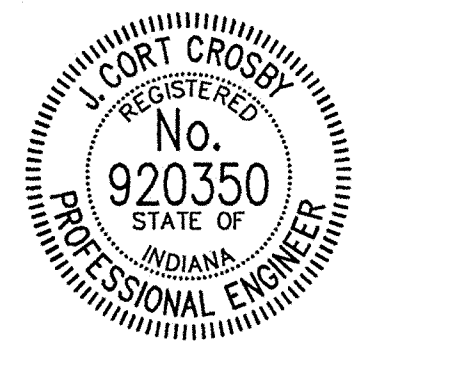
BENCHMARK

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- Revisions
1. DRP 2/19/99 REVISED LOT NUMBERS.
 2. DRP 12/17/99 REVISED STORM SEWERS & LOT NUMBERS.
 3. DRP 02/16/00 ADJUSTED LOT NUMBERS.
 4. DRP 03/29/01 STORM SEWER RECORD DRAWING.

CERTIFICATION FOR "RECORD DRAWING"

NOTE:
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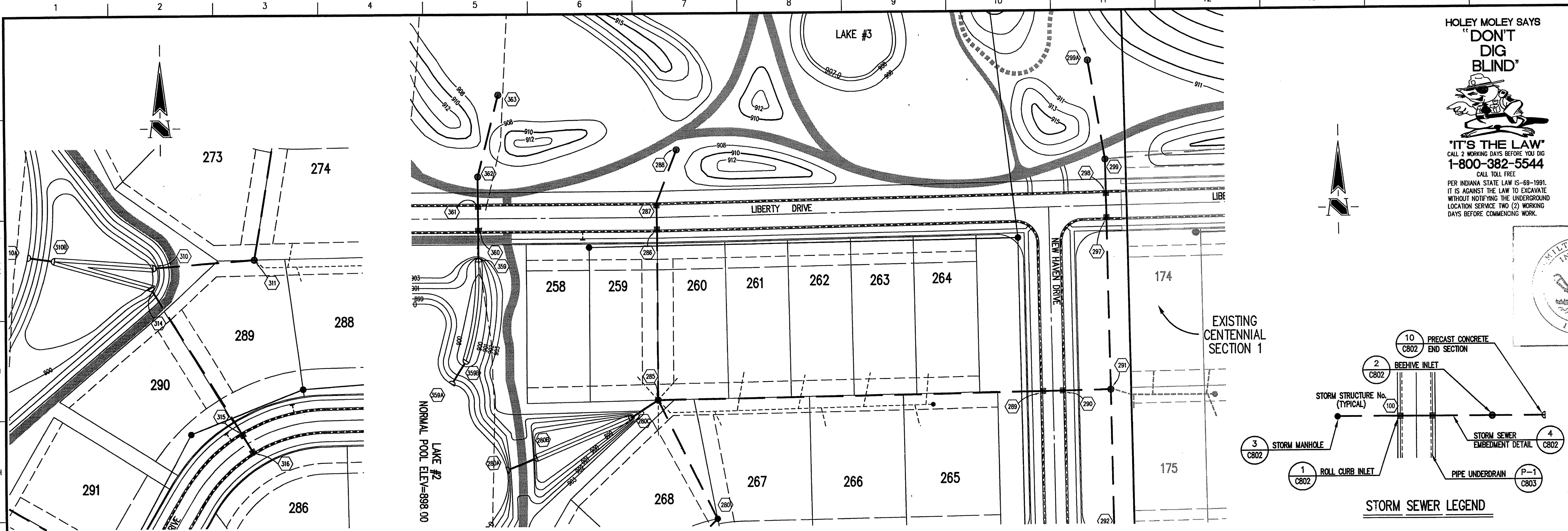


CERTIFIED BY: *J. Cort Crosby*
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CENTENNIAL SECTION 2
WESTFIELD, INDIANA
STORM SEWER PLAN

Date 01/20/99	Project No. 753.002	Drawn DRP	Approved
Computer Files R:\753\002\DWG\C602 XREF: R:\753\002\DWG\002B5 XREF: R:\753\002\DWG\002B6 XREF: R:\753\001\DWG\001S XREF: R:\753\003\DWG\003B5			Sheet No. C602

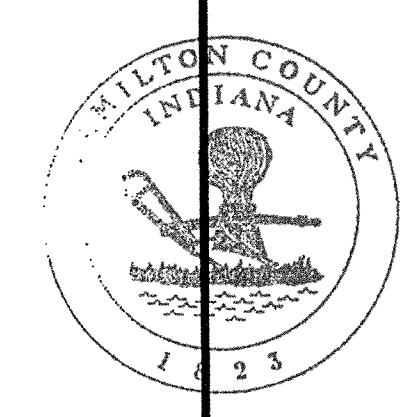


HOLEY MOLEY SAYS
"DON'T DIG BLIND"

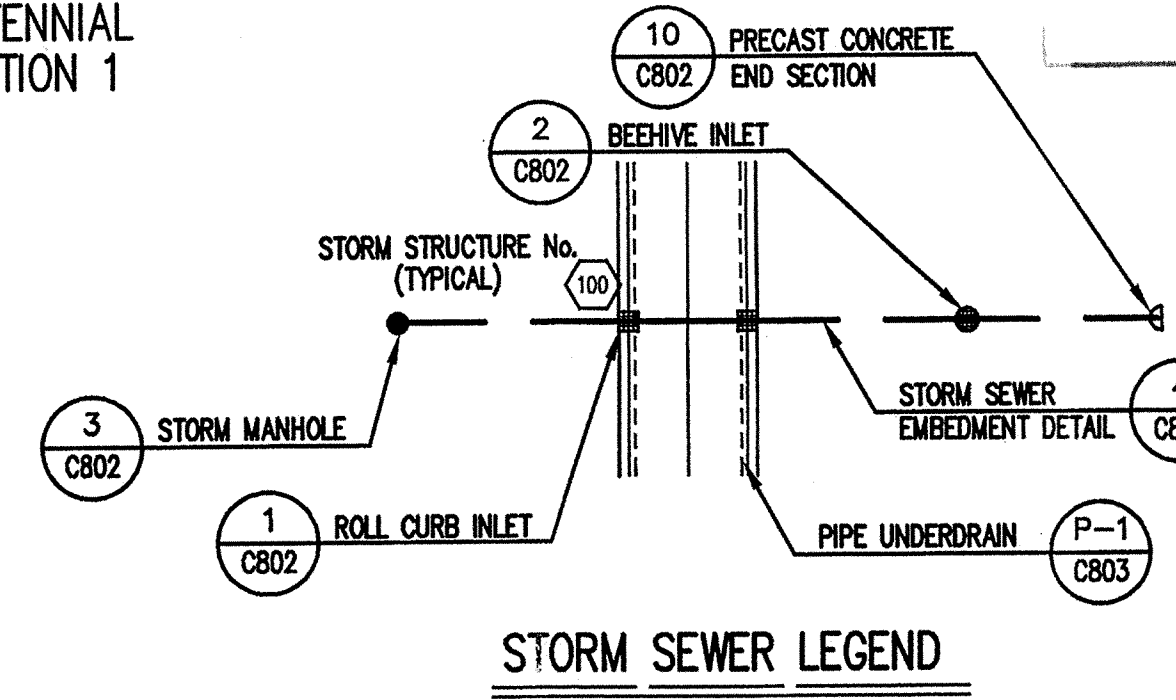
"IT'S THE LAW"
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This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.
 Entry Date: 10/23/2001
 Entered by: *Suzanne L. Muis*
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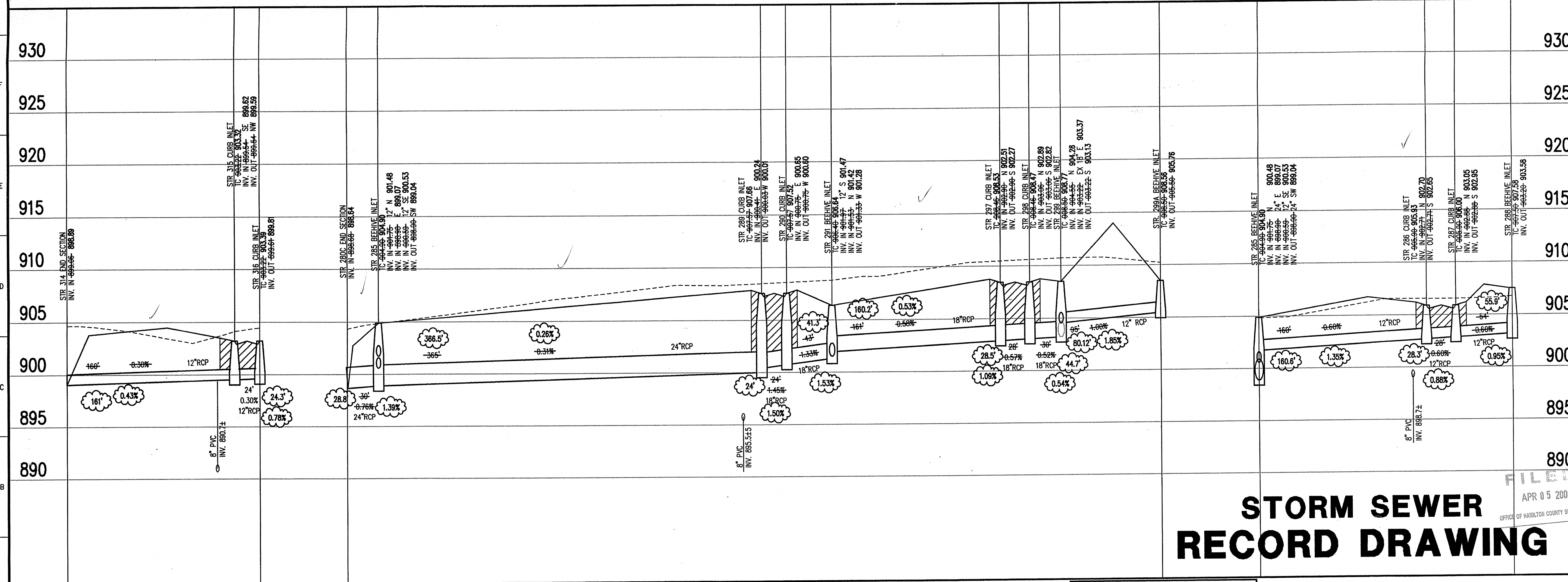


BENCHMARK

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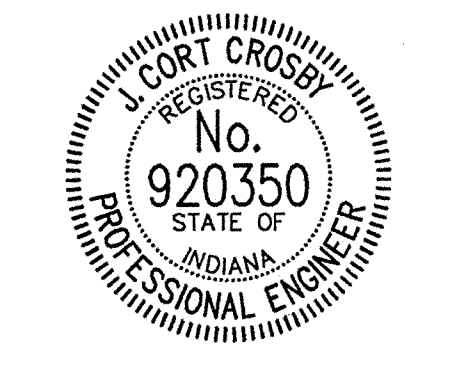
STORM SEWER PLAN

SCALE: 1"=50'



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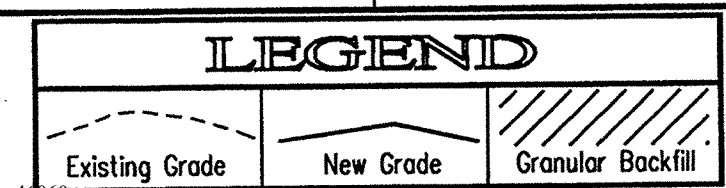
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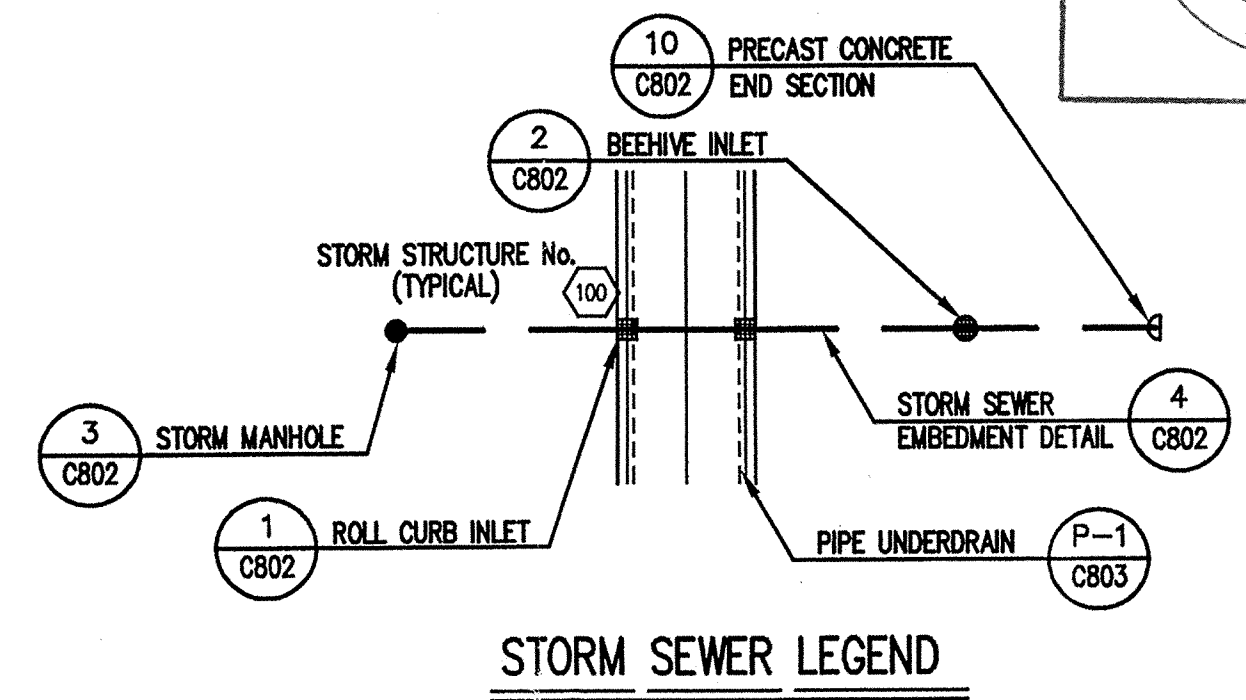
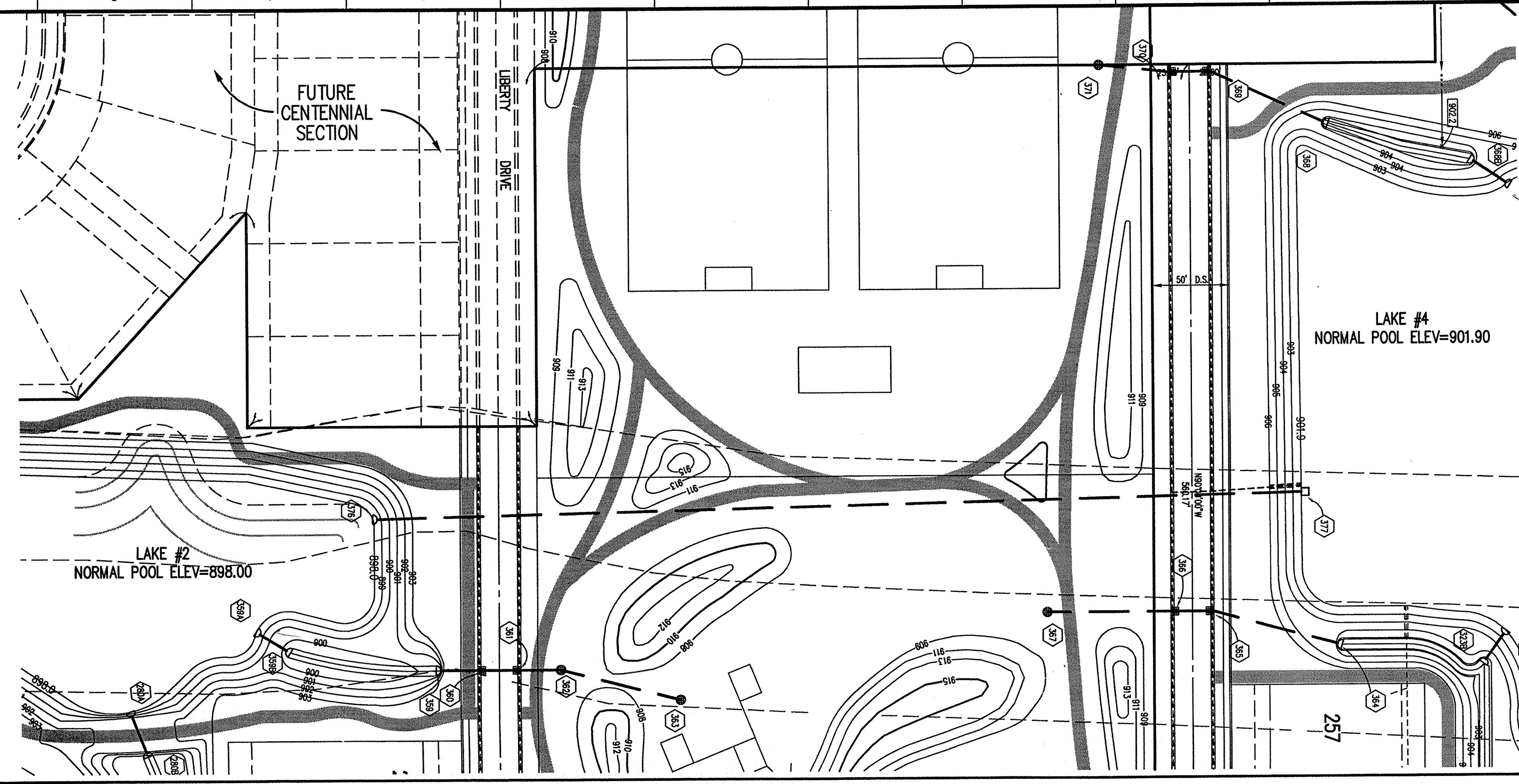
STORM SEWER RECORD DRAWING

STORM SEWER PROFILE



SCALE: HORZ.: 1"=50'
 VERT.: 1"=5'

Date	Project No.	Drawn	Approv.
01/20/99	753.002	DRP	
Computer Files			Sheet No.
R:\753\002\DWG\C603			C603
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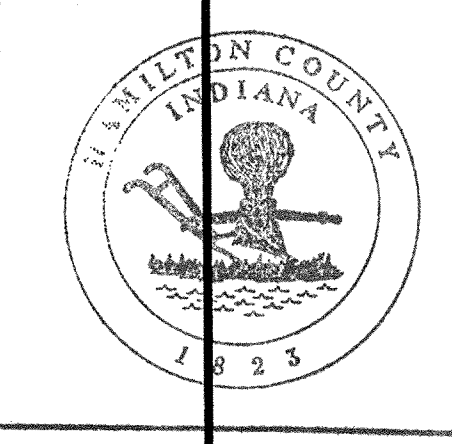


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 Entered by: *Suzanne L. Mills*
 JDH

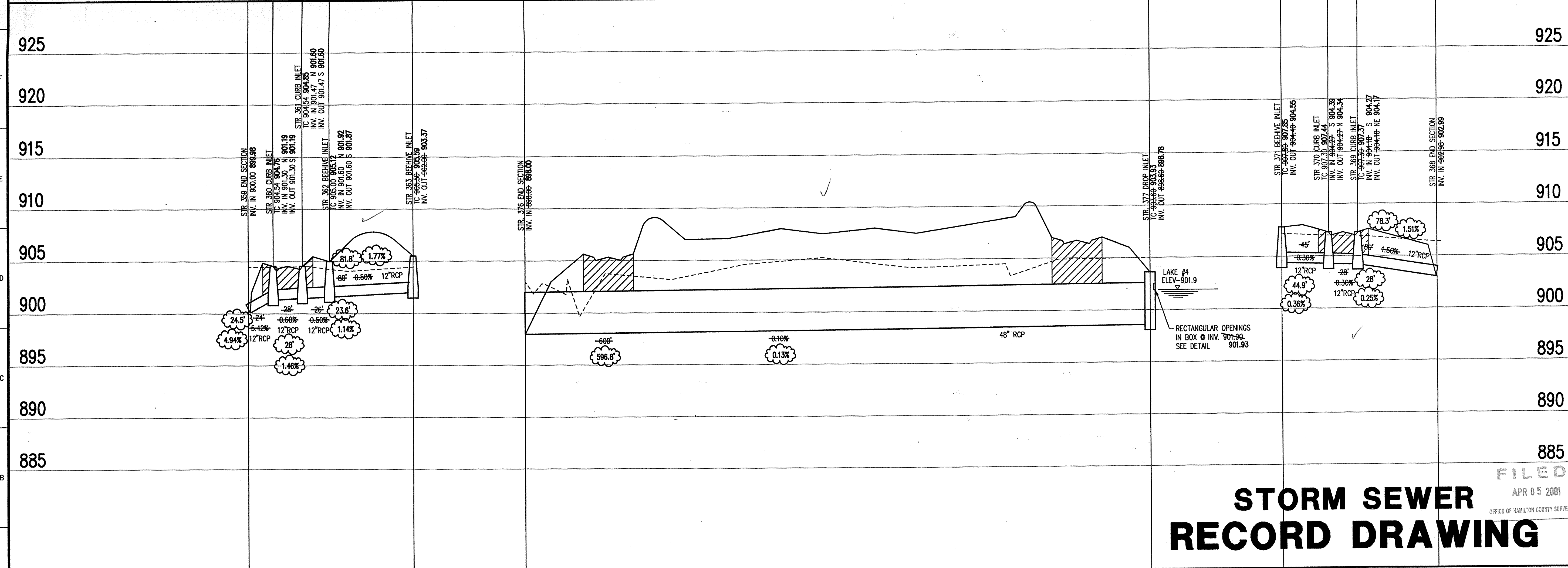
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 TBM #9
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 ELEV. = 908.39

- Revisions
- DRP 2/19/99 REVISED LOT LAYOUT, LOT NUMBERS & LAKE #4 LAYOUT.
 - DRP 12/17/99 REVISED STORM SEWERS & LOT NUMBERS.
 - DRP 02/16/00 ADJUSTED LOT NUMBERS.
 - DRP 03/29/01 STORM SEWER RECORD DRAWING.

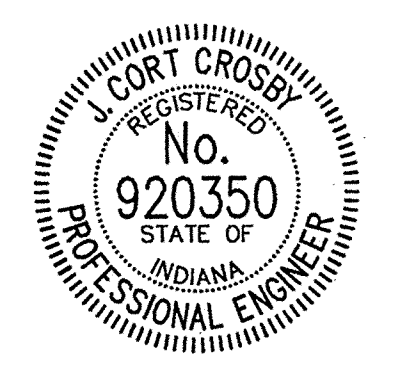
STORM SEWER PLAN

SCALE: 1"=50'



CERTIFICATION FOR "RECORD DRAWING"

NOTE:
 Record drawing certification for top of casing, invert elevations, and lengths of pipe only. Slope percentage represents a calculated figure and is for general information only.



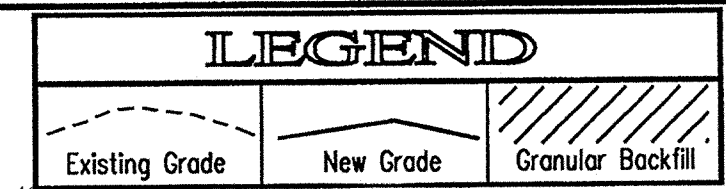
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 APR 05 2001
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STORM SEWER RECORD DRAWING

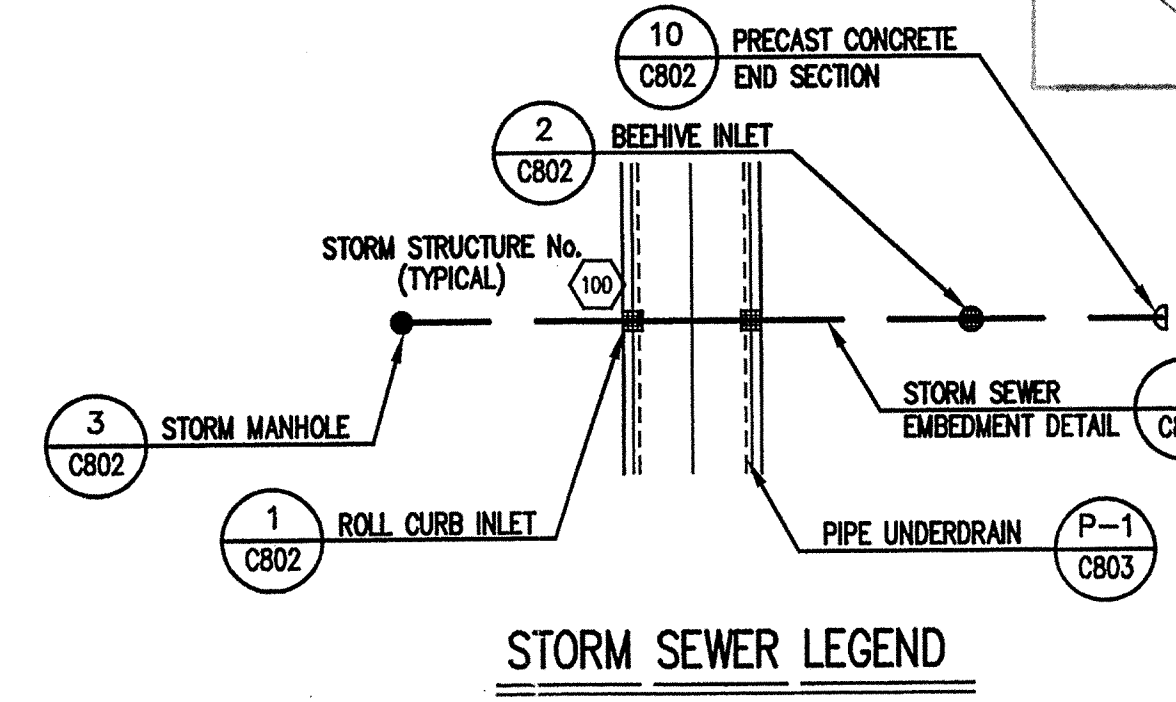
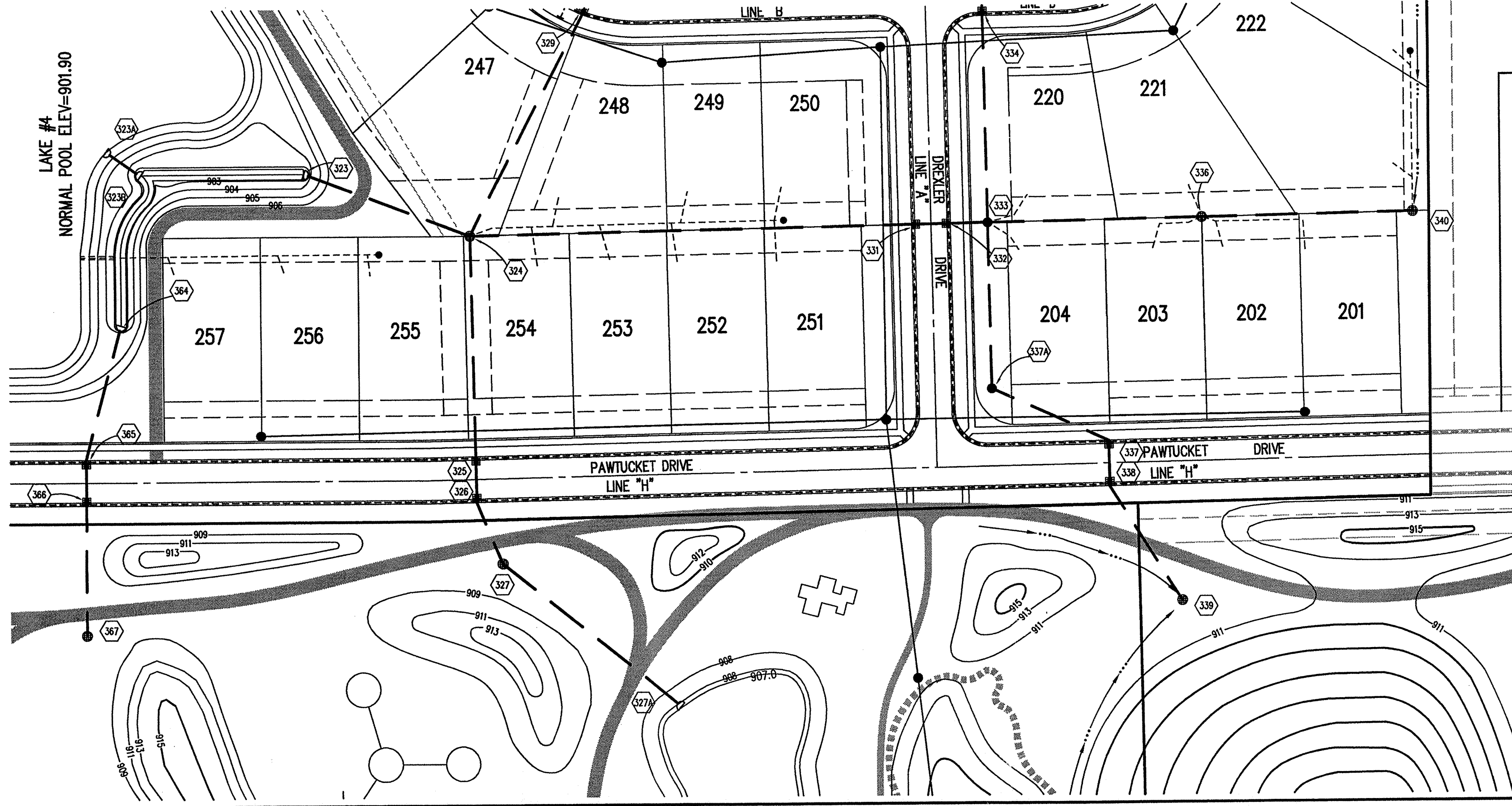
STORM SEWER PROFILE



SCALE: **HORZ.: 1"=50'**
VERT.: 1"=5'

Date 01/20/99	Project No. 753.002	Drawn DRP	Approv.
Computer Files R:\753\002\DWG\C604 XREF: R:\753\002\DWG\002B5 XREF: R:\753\002\DWG\002B6 XREF: R:\753\001\DWG\001B5 XREF: R:\753\003\DWG\003B5			Sheet No. C604

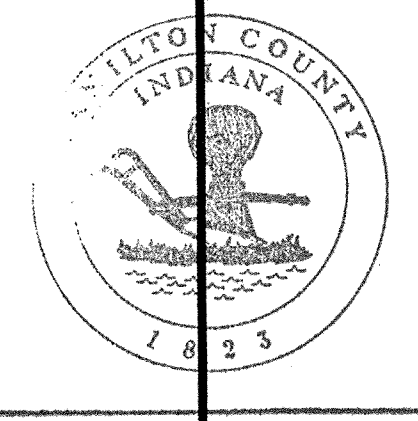
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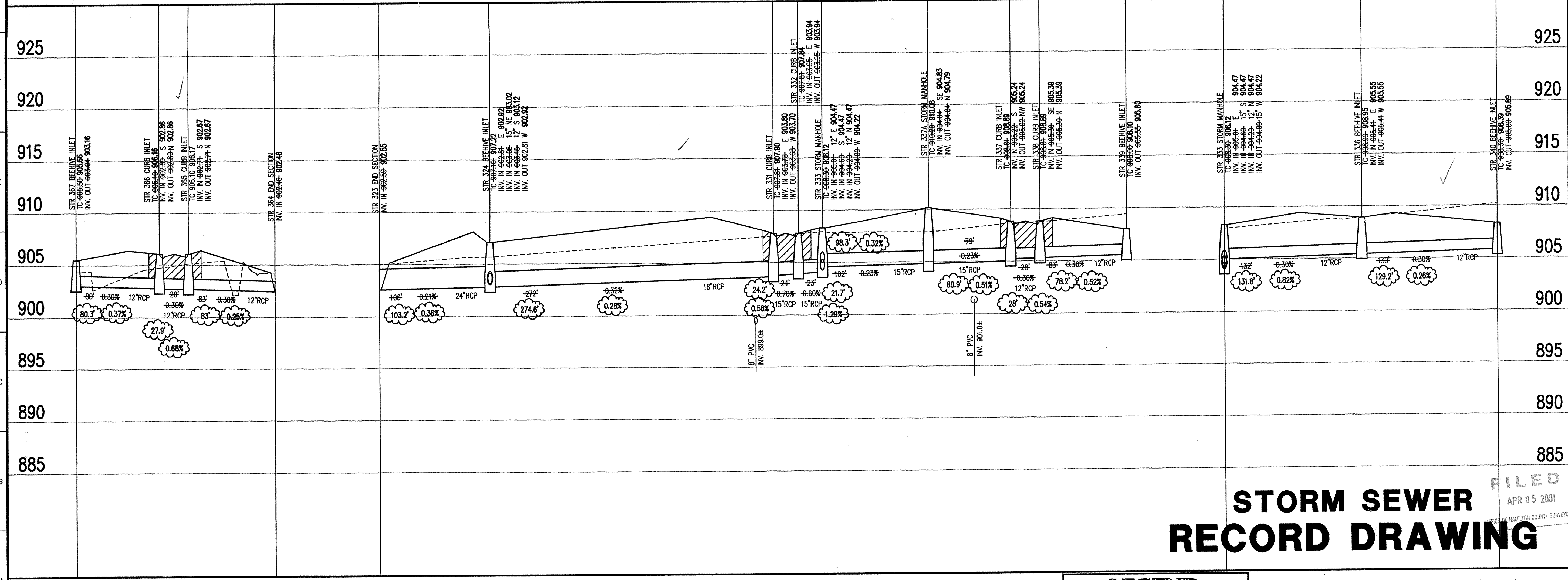
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Entry Date: 10/23/2002
Entered by: Suzanne L. Hill
JDH

BENCHMARK

BM - U.S.G.S. 93 RHP (1951)
BRASS DISK IN CONCRETE POST S.W. CORNER OF 146TH AND DITCH ROAD.
ELEV. = 903.373
TBM #9
R.R. SPIKE 1.3' UP NORTH SIDE OF MAPLE ± S.E. CORNER SITE.
ELEV. = 908.39

STORM SEWER PLAN

SCALE: 1"=50'



STORM SEWER PROFILE

SCALE: HORZ.: 1"=50'
VERT.: 1"=5'

CERTIFICATION FOR "RECORD DRAWING"

NOTE:
Record drawing certification for top of casting, invert elevations, and lengths of pipe only. Slope percentage represents a calculated figure and is for general information only.



CERTIFIED BY: [Signature]
3/3/01
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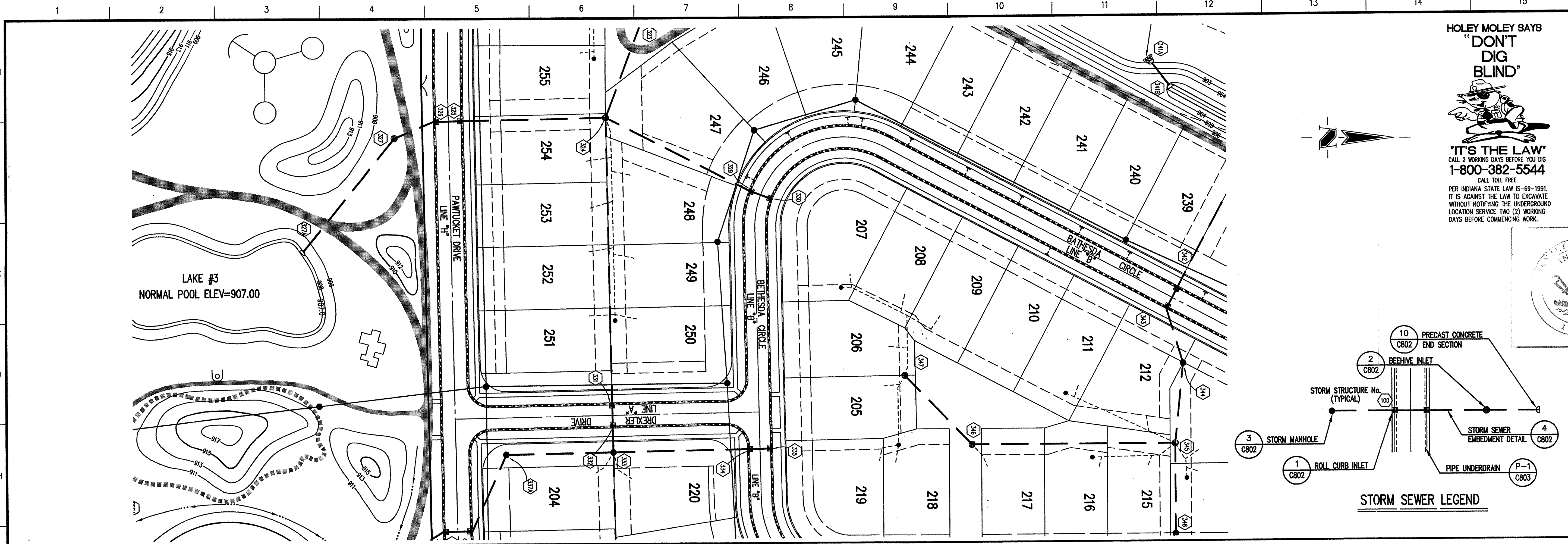
The Schneider Corporation
8845 East U.S. 36
Suite 500
Danville, Indiana 48122
317-272-0108
317-272-0412 Fax
Engineering
Surveying
Landscape Architecture
GIS + LIS
Geology
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ESTRIDGE DEVELOPMENT CO., INC.
CENTENNIAL SECTION 2
WESTFIELD, INDIANA
STORM SEWER PLAN

Date	Project No.	Drawn	Approved
01/20/99	753.002	DRP	
Computer Files			Sheet No.
R:\753\002\DWG\C605 XREF: R:\753\002\DWG\S02B8 XREF: R:\753\002\DWG\S02C8 XREF: R:\753\001\DWG\S00B8 XREF: R:\753\003\DWG\S00B8			C605

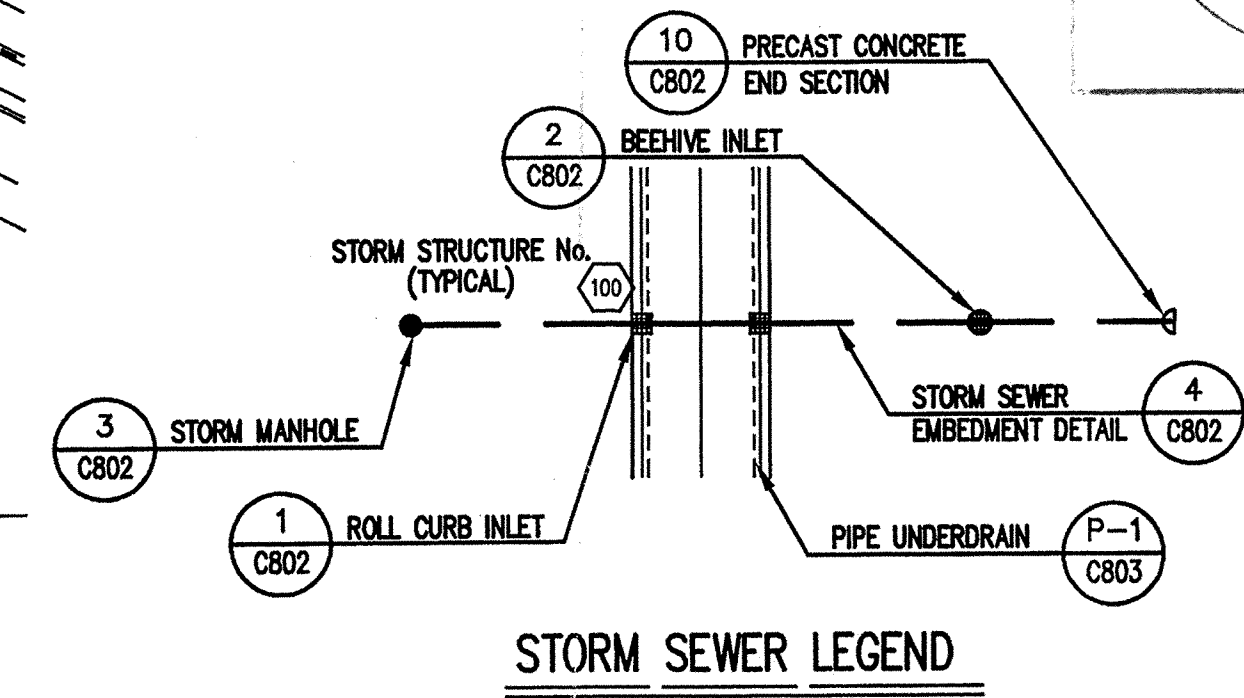
STORM SEWER RECORD DRAWING

FILED
APR 05 2001
HAMILTON COUNTY SURVEYOR



STORM SEWER PLAN

SCALE: 1"=50'

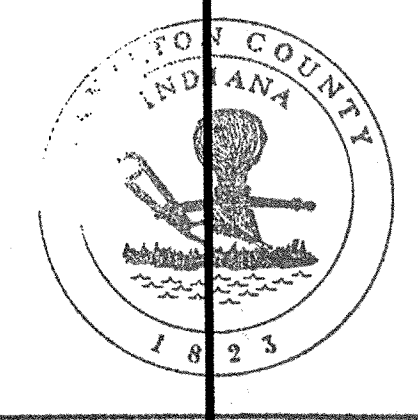


STORM SEWER LEGEND

GENERAL NOTES

1. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
2. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
4. CONTRACTORS SHALL MINIMIZE DAMAGE TO EXISTING TREES.

HOLEY MOLEY SAYS
"DON'T DIG BLIND"
"IT'S THE LAW"
CALL 2 WORKING DAYS BEFORE YOU DIG
1-800-382-5544
CALL TOLL FREE
PER INDIANA STATE LAW IS-69-1991.
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.



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Entered by: Suzanne L. Neal
JDH

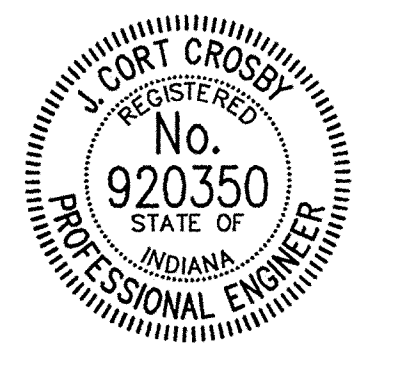
BENCHMARK

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- Revisions
1. DRP 2/19/99 REVISED LOCATION, TC'S & PIPE LENGTHS OF STR'S 324, 325 & 326, DELETED STR. 328, REVISED LOT LAYOUT, LOT NUMBERS & LAKE #4 LAYOUT, ALSO REVISED 324 TO 327A.
 2. DRP 12/17/99 ADJUSTED LAKE #4.
 3. DRP 02/18/00 ADJUSTED LOT NUMBERS, REVISED LOCATION OF STR'S. 324, 325, 328.
 4. DRP 03/29/01 STORM SEWER RECORD DRAWING.

CERTIFICATION FOR "RECORD DRAWING"

NOTE:
Record drawing certification for top of casing, invert elevations, and lengths of pipe only. Slope percentage represents a calculated figure and is for general information only.



CERTIFIED BY: *J. Kort Cross*
3/31/01
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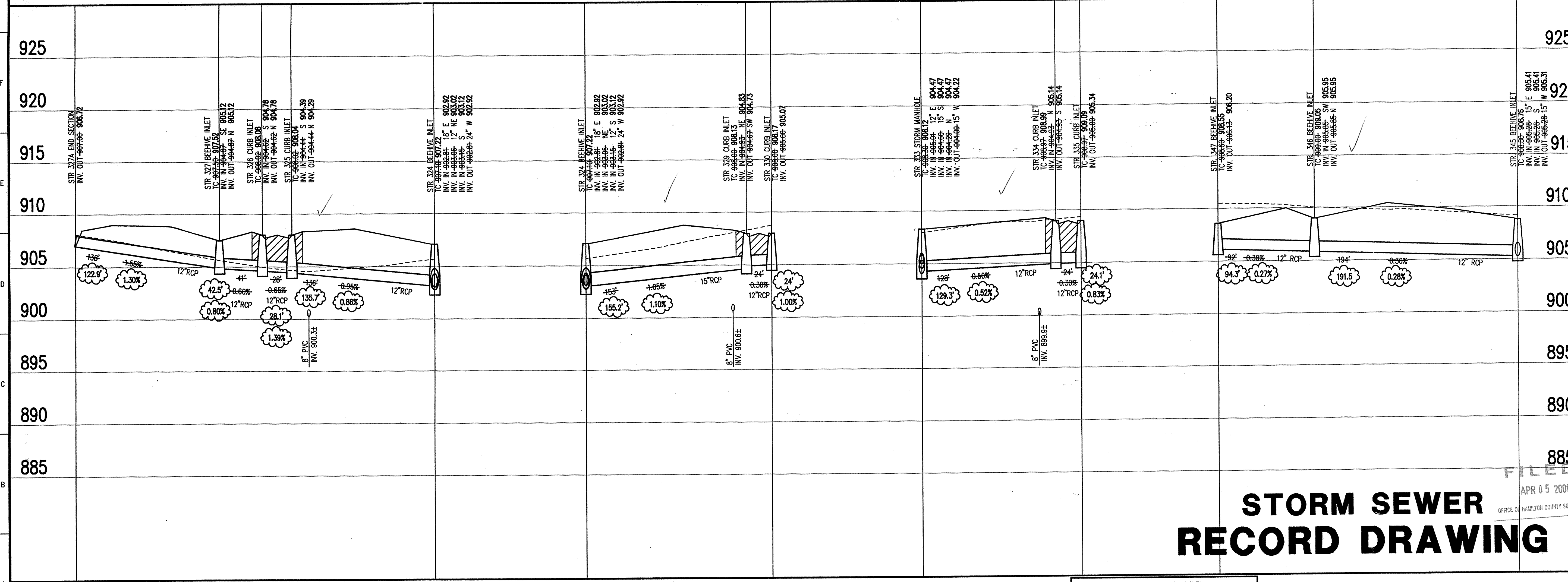
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ESTRIDGE DEVELOPMENT CO., INC.
CENTENNIAL SECTION 2
WESTFIELD, INDIANA

STORM SEWER PLAN

Date	Project No.	Drawn	Approv.
01/20/99	753.002	DRP	

Computer Files	Sheet No.
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STORM SEWER PROFILE

SCALE: HORZ.: 1"=50'
VERT.: 1"=5'

STORM SEWER RECORD DRAWING

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